

Meeting Agenda
Owosso Downtown Historic District Commission
Wednesday, November 20, 2024, 6:00 p.m.

Call to order and roll call:

Review and approval of agenda: November 20, 2024

Review and approval of minutes: October 16, 2024

Communications:

Staff-Issued Certificate of Appropriateness

- 1) 114 W Mason St – Sign
- 2) 108 N Washington St - Sign

Public Comments:

Committee Reports:

Public Hearings:

Items of Business:

- 1) RESOLUTION – Certificate of Appropriateness
 - a. 112 W Main St
 - b. 123 N Washington St
 - c. 213 N Washington St
- 2) DISCUSSION – Response to Initial Enforcement Letter
 - a. 214 W Exchange

Public Comments:

Board Comments:

- 1) Discussion
- 2) Next Meeting: December 18, 2024

Adjournment:

[The City of Owosso will provide necessary reasonable auxiliary aids and services, such as signers for the hearing impaired and audio tapes of printed materials being considered at the meeting, to individuals with disabilities at the meeting/hearing upon 72 hours notice to the City of Owosso. Individuals with disabilities requiring auxiliary aids on services should contact the City of Owosso by writing or calling Amy Kirkland, City Clerk, 301 W. Main St, Owosso, MI 48867 (989) 725-0500 or on the Internet. The City of Owosso Website address is www.ci.owosso.mi.us.]

MINUTES FOR REGULAR MEETING
OWOSSO HISTORIC DISTRICT COMMISSION
Wednesday, October 16, 2024 at 6:00 p.m.
City Hall Conference Room

MEETING CALLED TO ORDER: at 6:11 p.m. by Chairperson Steven Teich.

ROLL CALL: was taken by City Manager Nathan Henne.

PRESENT: Chairperson Steven Teich, Commissioner Byrne, Commissioner Gallinger, Vice Chair Omer

ABSENT: Commissioner VanEpps, Commissioner Powell

OTHERS IN ATTENDANCE: City Manager Nathan Henne

AGENDA APPROVAL: October 16, 2024.

MOTION FOR APPROVAL OF THE AGENDA AS AMENDED BY VICE CHAIR OMER. SECONDED BY COMMISSIONER BYRNE.

AYES ALL. MOTION CARRIED.

MINUTES APPROVAL: September 18, 2024.

MOTION FOR APPROVAL OF MINUTES AS PRESENTED BY COMMISSIONER BYRNE. SECONDED BY COMMISSIONER GALLINGER.

AYES ALL. MOTION CARRIED.

COMMUNICATIONS

City Manager Henne shared the following staff-issued Certificates of Appropriateness:

1. 110 N Ball Street – Sign Replacement

ITEMS OF BUSINESS:

- 1. Approve HDC Initial Enforcement Letters for the Following Properties**
 - a. 214 W Exchange**

Henne shared that 214 W Exchange was tabled at the previous meeting because a majority vote was not possible at the last meeting due to a conflict of interest regarding this property from Commissioner VanEpps.

MOTION BY COMMISSIONER BYRNE TO APPROVE THE FOLLOWING INITIAL ENFORCEMENT LETTERS:

- 214 W Exchange St

MOTION SECONDED BY COMMISSIONER GALLINGER

AYES ALL

MOTION CARRIED

2. **Approve HDC 2nd Round Enforcement Letters for the Following Properties – to be issued when 30 business-day initial letters expire with no response or CofA application.**
 - a. **123 N Washington St**
 - b. **213 N Washington St**
 - c. **108 E Exchange St**

Henne shared that while the initial response period has not expired, the Commission is advised to approve the second round of enforcement letters in case no responses or applications are received by the Sept 30 deadline.

MOTIONS FOR 2ND ENFORCEMENT LETTERS:

1. 123 N Washington – MOTION BY OMER TO TABLE UNTIL NOVEMBER HDC MEETING. SECONDED BY BYRNE. AYES ALL
2. 213 N Washington St – MOTION BY GALLINGER TO ISSUE SECOND LETTER. SECONDED BY BYRNE. AYES ALL
3. 108 E Exchange – MOTION BY GALLINGER TO ISSUE SECOND LETTER. SECONDED BY BYRNE. AYES ALL

MOTIONS CARRIED

3. **Approve Demolition By Neglect – 110 W Main St**

MOTION BY GALLINGER TO REINSTATE DEMOLITION BY NEGLIGENCE FOR FAÇADE OF 110 W MAIN ST. SECONDED BY BYRNE.

AYES ALL

MOTIONS CARRIED

PUBLIC COMMENTS: None

BOARD COMMENTS: Henne introduced the City’s building official, Nate Charles. Mr. Charles shared information about 117 E Exchange St and his concerns regarding the cleanup process. Henne and Charles shared that a structural report was forthcoming that will aid the HDC and City in deciding how to clean up the property and save the façade.

Gallinger asked Omer if realtors inform buyers if a property is within the HDC. Omer replied that in his experience, they do not. Gallinger inquired if it was possible for staff to notify new owners if a property is within the district. Henne replied that the extent of notification is for the city to send information about the HDC and its processes once a year via the city’s utility billing process.

NEXT MEETING: December 18, 2024

CHAIRMAN TEICH ADJOURNED THE MEETING AT 7:10 P.M.



November 13, 2024

Agnew Sign
ATTN: Mark Agnew
1905 M-21
Owosso, MI 48867

RE: 114 W Mason St – Historic District Commission Review – Sign Replacement

To Whom It May Concern:

Pursuant to MCL 399.205 and Section 8-208 of the Owosso City Code, the Owosso Historic District Commission has reviewed the above referenced application, as attached, for building permit and has issued a Certificate of Appropriateness effective as of November 13, 2024.

The work as applied for, with materials submitted, has been determined by the Commission to conform to the Secretary of the Interior's Standards for Rehabilitation.

Please retain this Certificate of Appropriateness for your files. You should now proceed to obtain a building permit from the City Building Department. Approval by the Owosso Historic District Commission does not waive the applicant's responsibility to comply with any other applicable ordinance or statute. If you have any questions regarding the foregoing, please telephone my office at 989.725.0568.

Sincerely,

A handwritten signature in black ink, which appears to read "Nathan Henne". The signature is written in a cursive style.

Nathan Henne
City Manager
Nathan.henne@ci.owosso.mi.us
989.725.0568

CC: Tanya Buckelew – Owosso Building Department
Owosso 1st Baptist Church - Owner



301 W. MAIN ▪ OWOSSO, MICHIGAN 48867-2958 ▪ (989) 725-0599 ▪ FAX (989) 723-8854

November 13, 2024

Agnew Sign
ATTN: Mark Agnew
1905 M-21
Owosso, MI 48867

RE: 108 N Washington St – Historic District Commission Review – Sign Replacement

To Whom It May Concern:

Pursuant to MCL 399.205 and Section 8-208 of the Owosso City Code, the Owosso Historic District Commission has reviewed the above referenced application, as attached, for building permit and has issued a Certificate of Appropriateness effective as of November 13, 2024.

The work as applied for, with materials submitted, has been determined by the Commission to conform to the Secretary of the Interior's Standards for Rehabilitation.

Please retain this Certificate of Appropriateness for your files. You should now proceed to obtain a building permit from the City Building Department. Approval by the Owosso Historic District Commission does not waive the applicant's responsibility to comply with any other applicable ordinance or statute. If you have any questions regarding the foregoing, please telephone my office at 989.725.0568.

Sincerely,

A handwritten signature in black ink, appearing to read "Nathan Henne".

Nathan Henne
City Manager
Nathan.henne@ci.owosso.mi.us
989.725.0568

CC: Tanya Buckelew – Owosso Building Department
Dave Acton - Owner



DATE: 11.18.24
TO: Historic District Commission
FROM: City Manager
SUBJECT: 112 W Main ST CofA – Window Replacement

HISTORY:

The property at 112 W Main Street, Owosso, MI 48867, is a contributing structure within the Historic District, built in 1886 as part of a row of seven storefronts. Over time, the building underwent significant changes, including a façade replacement following damage during adjacent construction in 1947. Historically, the second floor was used for various purposes, including candy-making for Candyland during the mid-20th century.

The Owosso HDC 2010 Historic District Survey describes the structure as having a plain and dignified brick façade. Originally, the second-floor windows were tall and narrow with Renaissance Revival lintels and arched tops, consistent with the architectural character of the block.

BACKGROUND:

The property owner has submitted an application to replace the second-floor loft windows with fibrex and glass double-hung windows from Renewal by Anderson. These windows comply with the **Owosso HDC Design Guidelines**, which allow for aluminum-clad windows in historic districts.

Key features of the replacement windows:

- **Material:** Fibrex and glass, combining durability and eco-friendliness.
- **Design:** Double-hung, opening from the top down or bottom up, with inward swing functionality for easy cleaning.
- **Appearance:** Black aluminum cladding on the exterior sash for a maintenance-free finish.
- **Compatibility:** The design and materials are consistent with the loft's dedicated entrance door and complement neighboring buildings.

Additional details include:

- The exterior visible frame size will remain slightly over one inch, maintaining a historically appropriate profile.
- The inset and sash design, along with black aluminum framing, will mimic the historic appearance while providing modern durability.

- Total project cost, including materials, labor, and a sliding patio door installation, is \$23,539.

The proposed windows align with the property's long-term goal of achieving a maintenance-free façade that meets historic standards while enhancing the building's usability and appearance.

RECOMMENDATION:

Approve a Certificate of Appropriateness for the replacement of the second-floor loft windows at 112 W Main Street, as proposed by the property owner. The materials, design, and installation meet the Owosso HDC Design Guidelines and the Secretary of the Interior's Standards for the Treatment of Historic Properties, ensuring compatibility with the building's historic character and the surrounding district.

RECEIVED
10-14-24

CITY OF OWOSSO
HISTORIC DISTRICT COMMISSION APPLICATION FOR A
CERTIFICATE OF APPROPRIATENESS OR NOTICE TO
PROCEED

This application must be received by the Owosso Building Department a minimum of ten working days prior to the scheduling of the application on the Historic District Commission agenda. Applicants are strongly encouraged to conduct a preliminary discussion with staff and/or the Historic District Commission prior to the consideration of an application. The Commission generally meets on the Third Wednesday of each month.

Please consult the Secretary of the Interior's Standards for Rehabilitation and the Historic District Commission guidelines for specific details on permissible alterations to the exterior of a structure or for the construction or demolition of any structure within the Historic District that require a CoA.

The following information shall be attached to this application. Additional information is encouraged:

1. A detailed plan drawn to a legible scale depicting the proposed alteration including size, a detailed description of materials and finishing work to be completed. If the size of the plan exceeds 11x17 then additional copies may be requested.
 - Plan shall show existing property lines and any prominent features on the site.
2. A minimum of the following photographs labeled to indicate the direction of view:
 - Current photos of the structure as seen from the street and/or façade of alteration;
 - Close up of existing detail in present condition proposed for alteration.

Date: 10/04/2024

Property Address: 112 W Main St Owner's Name: Jodi Marrah

Phone One: 989 277-1670 Other Phone: 989 277-1671 Email: jmarrah@180associates.com

Applicants Address: 788 E. Juddville Rd Applicants Name: Jodi Marrah
Owosso

Phone One: 989 277-1670 Other Phone: 989 277-1671 Email: jmarrah@180associates.com

Does the property have or will it have before the proposed project completion date, a fire alarm system or a smoke alarm complying with the requirements of the Stille-DeRosset-Hale single state construction code act, 1972 PA 230, MCL 125.1501-12501531*. Yes, it does

Description of Work proposed, BE SPECIFIC (attach sheets describing activities, materials, dimensions, etc.)

Applicant's Signature Jodi B. Marrah

Property Owner's Signature Jodi B. Marrah

Please contact Nathan Henne for further information 989.725.0568 during business hours, or nathan.henne@ci.owosso.mi.us.

Return to City Hall, 301 W. Main St., Owosso, MI 48867

*"Fire alarm system" means a system designed to detect and annunciate the presence of fire or by-products of fire. Fire alarm system includes smoke alarms. "Smoke alarm" means a single-station or multiple-station alarm responsive to smoke and not connected to a system. As used in this subdivision, "single-station alarm" means an assembly incorporating a detector, the control equipment, and the alarm sounding devices into a single unit, operated from a power supply either in the unit or obtained at the point of installation.

"Multiple station alarm" means 2 or more single station alarms that are capable of interconnection such that actuation of 1 alarm causes all integrated separate audible alarms to operate.

Window Replacement, Second Floor Loft

112 W Main Street, Owosso, MI 48867 (downstairs currently occupied by Murtles Chocolates)

The replacement windows we are requesting to install are from Renewal by Anderson. The downstairs door dedicated to the upstairs loft is also from Renewal by Anderson, so the color and materials will be consistent for the loft exterior openings.

The window materials are fibrex and glass with a similar in look to our neighboring building to the west of us. They are double-hung windows opening from the top down or bottom up and swing inside for easy outside cleaning. The outside deep window sash will be wrapped in black aluminum for a maintenance-free window.

The outside visible frame size is a little over one inch. The existing windows are inset compared to the building to our west, however, the inset and overhead sash will have a black aluminum frame making the window frame appear larger than it is from the road.

The cost for the windows, wrapping aluminum, sliding door off the back of the loft onto the patio with installation is \$23,539.00. They are quality products with a 20-year guarantee. We are repeat customers to Renewal By Anderson products, having purchased exterior french doors for our home and the single door to this upstairs loft. Our long-term goal is for a maintenance free façade that meets historic standards.

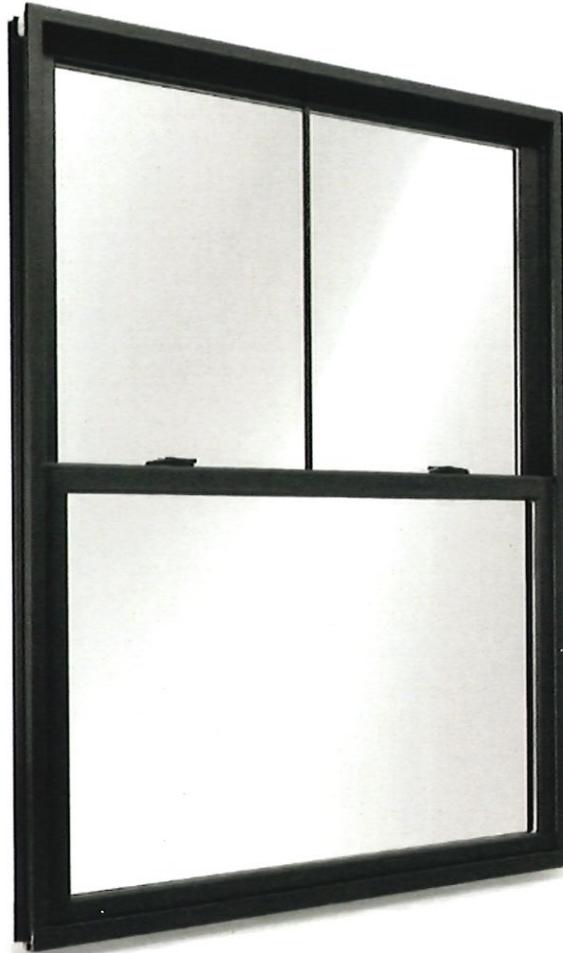
We googled the difference between fibrex ,vinyl and wood windows and below are our findings:

- Fibrex windows are a blend of 40% wood fiber reclaimed from Anderson manufacturing processes and 60% thermoplastic polymer.
- Durability: Fibrex is twice as strong as vinyl and wood and can withstand extreme temperature swings.
- Eco-friendliness: Fibrex is more eco-friendly than vinyl and is resistant to rot decay, mold, fungus, and corrosion as commonly found in wood and vinyl openings .





RENEWAL
by **ANDERSEN**
FULL-SERVICE WINDOW & DOOR REPLACEMENT



ACCLAIM™ DOUBLE-HUNG WINDOWS



294,755 Ratings

There's a reason the
Acclaim™ double-hung

HISTORIC DISTRICT COMMISSION RESOLUTION NO. 2024-2

RESOLUTION APPROVING A CERTIFICATE OF APPROPRIATENESS FOR WINDOW REPLACEMENT AT 112 W MAIN STREET

WHEREAS, the Historic District Commission of Owosso, Michigan, has received an application from the property owner of 112 W Main Street to replace the second-floor loft windows; and

WHEREAS, the Commission was established to preserve the historic nature of the district using the guidelines set forth by the United States Secretary of the Interior; and

WHEREAS, the property at 112 W Main Street is a contributing structure in the Owosso Historic District, constructed in 1886 as part of a historically significant row of storefronts; and

WHEREAS, the Owosso Historic District Commission Design Guidelines permit the use of aluminum-clad windows, and the proposed replacement windows meet this requirement with fibrex and glass materials and black aluminum cladding; and

WHEREAS, the proposed windows align with the building's original design intent by maintaining narrow frames, inset installation, and a historically appropriate appearance; and

WHEREAS, the application was found to be complete, and the proposed replacement is consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties, ensuring compatibility with the historic character of the building and the surrounding district.

NOW, THEREFORE, BE IT RESOLVED by the Historic District Commission of the City of Owosso, Shiawassee County, Michigan, that:

- FIRST: The historic or architectural value and significance of the resource and its relationship to the surrounding area will not be adversely affected by the proposed work.
- SECOND: The proposed windows, including their materials and design, meet the requirements of the Owosso Historic District Commission Design Guidelines and the Secretary of the Interior's Standards for Rehabilitation.
- THIRD: The replacement windows, with their fibrex and black aluminum-clad frames, are compatible with the design, arrangement, and texture of the building's façade and contribute to the overall historic integrity of the district.
- FOURTH: The proposed work supports the preservation of the property that meets historic standards.

Moved: _____

Supported: _____



DATE: 11.18.24
TO: Historic District Commission
FROM: City Manager
SUBJECT: 123 N Washington – Façade CofA

BACKGROUND:

The building owner has submitted an application to replace or rehabilitate the façade of 123 N Washington Street as part of a comprehensive redevelopment project. Key elements of the project include:

- **Primary Plan:** Rehabilitation of the façade in line with architectural drawings attached to the application, pending final approval for federal historic tax credits from the National Park Service.
- **Contingency Plan:** In the event federal tax credits are denied or the project becomes financially unviable, the façade will be covered with a product similar to that used at the former Matthews Building.

This redevelopment project is supported by grant funding from the Michigan Economic Development Corporation (MEDC) and includes façade restoration, window replacement, and the addition of residential housing. The primary plan aligns with the historical character of the property, while the contingency plan ensures an aesthetically appropriate solution that complements the surrounding district.

HISTORY:

The property at 123 N Washington Street, Owosso, MI, built in 1896 as the "Keeler Block," is a contributing structure within the Historic District. Originally constructed for the Citizens' Savings Bank of Owosso, the building reflects a rich architectural and historical heritage.

The building's brick was sourced locally from Fred Tick's brick plant on Corunna Avenue. It was originally three stories, with the third floor serving as a meeting space for the Masons, as evidenced by lodge symbols still visible on the ceiling. The building retains significant historic elements, including maple floors, intact third-floor windows with original wood trim, and gas lighting fixtures from its initial construction.

Over its history, the site has undergone various uses and renovations. In 1960, the bank undertook extensive remodeling, and by 1970, it had expanded to include adjacent buildings on Exchange Street. Historically, this site has also been significant as the location of Owosso's first general store, established in 1838 by Ebenezer Gould and David Fish. Ebenezer Gould later distinguished himself as a lawyer and military leader during the Civil War.

RECOMMENDATION:

Approve a Certificate of Appropriateness for the façade replacement/rehabilitation of 123 N Washington Street, contingent upon adherence to the Owosso HDC Design Guidelines and the Secretary of the Interior's Standards for Rehabilitation.

- The primary plan supports the preservation and enhancement of the building's historic character.
- The contingency plan ensures that, even if the primary plan cannot proceed, the building's façade will maintain compatibility with the district's aesthetic standards.

Approval will support the redevelopment project's objectives while preserving the historical and architectural integrity of this significant property.

123 N. WASHINGTON

123 N. WASHINGTON STREET, OWOSSO MI

RENDERING - FOR REFERENCE ONLY



EXISTING PHOTOS - FOR REFERENCE ONLY



HISTORIC IMAGE



AREA MAP



PROJECT NOTES

- CONSTRUCTION MUST COMPLY WITH ALL NATIONAL, STATE, AND LOCAL BUILDING CODES, AS WELL AS ALL LOCAL ORDINANCES.
- DO NOT SCALE DRAWINGS. NOMINAL DIMENSIONS ARE SHOWN. REFER TO DETAILS, NOTES, SPECIFICATIONS AND PARTITION KEY FOR INFORMATION. CONTACT ARCHITECT IF ADDITIONAL INFORMATION IS REQUIRED.
- EXISTING BUILDING AND SITE INFORMATION WAS OBTAINED FROM THE OWNER AND ADDITIONAL FIELD MEASUREMENTS BY THE ARCHITECT. THE CONTRACTOR SHALL VERIFY ALL EXISTING FIELD CONDITIONS PRIOR TO COMMENCEMENT OF WORK. DRAWINGS MAY CONTAIN DISCREPANCIES DUE TO CONCEALED CONDITIONS, INACCURACIES IN THE ORIGINAL DRAWINGS, INACCESSIBLE LOCATIONS, UNRECORDED BUILDING ALTERATIONS AND OTHER CONFLICTING INFORMATION. INFORMATION OUTSIDE OF CONTRACT AREA IS RELATIVE AND FOR REFERENCE ONLY. ALWAYS VERIFY FIELD CONDITIONS BEFORE COMMENCING WORK. NOTIFY ARCHITECT IF FIELD CONDITIONS CONFLICT SUBSTANTIALLY WITH PROPOSED WORK.
- INSTRUCTIONS FOR BUILDING CONSTRUCTION MAY BE LOCATED IN ANY PART OF THE CONSTRUCTION DRAWINGS. FAILURE OF THE GENERAL CONTRACTOR OR HIS SUB CONTRACTOR AND SUPPLIERS TO SEE INFORMATION IN ANY PART OF THE CONTRACT DOCUMENTS WILL NOT BE A VALID REASON FOR ISSUING A CHANGE ORDER.
- ALL HOLES CREATED FROM ABANDONED DUCT, CONDUIT, ELEC. DEVICES, ETC., WHICH ARE IN VIEW AND ARE NOT SCHEDULED TO BE BOARDED OVER, OR ON A WALL TO BE DEMOLISHED, ARE TO BE FILLED AND PATCHED TO MATCH EXISTING.
- PATCH AND REPAIR ALL EXISTING WALL SURFACES ADJACENT TO NEW WORK AS REQUIRED TO ACHIEVE AN UNINTERRUPTED SURFACE APPEARANCE. PATCH AND REPAIR ALL FLOORING FOR EXISTING BUILDINGS TO ACHIEVE A CONTINUOUS, SMOOTH, AND FLUSH FLOOR SURFACE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING REQUIRED TO EXECUTE WORK. THE CONTRACTOR SHALL COORDINATE ALL TEMPORARY CONSTRUCTION WITH THE ARCHITECT AND OWNER TO ASSURE A MINIMUM AMOUNT OF INTERRUPTION WITH THE OWNER'S ACTIVITIES.
- IF THE PROJECT IS A REMODEL, THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL SURFACES NOT BEING REMODELED IN THE PROJECT AND IN THE PATH OF THE CONTRACTORS TRAVEL, SETUP AND/ OR PROJECT MATERIAL STORAGE. THE CONTRACTOR MUST RETURN THE AREAS DISTURBED AS REQUIRED FOR ACCESS TO ITS PRE-EXISTING CONDITION.
- THE CONTRACTOR AND ALL SUB-CONTRACTORS SHALL BE RESPONSIBLE TO OBTAIN AND PAY FOR ALL LOCAL/REQUIRED PERMITS AND INSPECTIONS.
- ALL SAFETY ISSUES RELATED TO CONSTRUCTION ARE THE RESPONSIBILITY OF THE CONTRACTOR AND MUST COMPLY WITH ALL STATE, LOCAL, ENVIRONMENTAL AND LABOR LAWS DURING THE CONSTRUCTION OF THIS PROJECT.
- ALL WORK TO BE GUARANTEED A MINIMUM OF ONE YEAR FROM THE DATE OF OWNER ACCEPTANCE OF WORK, EXCEPT WHERE MANUFACTURER'S GUARANTEE IS LONGER.
- IF DISCREPANCIES OCCUR BETWEEN DRAWINGS AND FIELD CONDITIONS CONTACT THE ARCHITECT TO VERIFY HOW TO PROCEED BEFORE DOING SO.
- SEE T001 FOR ADDITIONAL PROJECT NOTES, MOUNTING HEIGHTS, AND SYMBOLS
- 3D VIEWS AND RENDERINGS ON THIS PAGE AND THROUGHOUT THE SET ARE FOR REFERENCE ONLY. VERIFY ALL CONSTRUCTION DETAILS THROUGHOUT THE ENTIRE SET OF DOCUMENTS
- THE PROJECT SHALL CONFORM TO UNDERWRITERS LABORATORY FIRE RESISTANCE DIRECTORY AND BUILDING MATERIALS DIRECTORY.
- ANY MATERIAL SUBSTITUTIONS TO A LISTED UL DESIGN NUMBER SHALL BE COORDINATED BY THE CONSTRUCTION MANAGER, CONTRACTOR, SUBCONTRACTOR AND/OR MATERIAL SUPPLIER FOR COMPLIANCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL APPROVALS - FOR ANY MATERIALS SUBSTITUTION IN THE REQUIRED UL DESIGN ASSEMBLY - BY THE FIRE MARSHAL AND BUILDING INSPECTOR HAVING JURISDICTION PRIOR TO ACCEPTANCE.
- FOR ANY CHANGE OF UL DESIGN NUMBER, OR ANY CHANGE IN MATERIAL(S) IN A UL DESIGN ASSEMBLY, IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ALL OTHER RELATED MATERIALS OR ASSEMBLIES AFFECTED BY THE CHANGE OF MATERIAL OR UL DESIGN NUMBER ASSEMBLY.
- PROVIDE COMPLETE UL APPROVED THROUGH-PENETRATION FIRESTOP SYSTEMS AT ALL RATED WALL PENETRATIONS.
- PROVIDE FIRESTOPPING AS REQUIRED AT ALL OPENINGS FOR PLUMBING, CONDUIT, DUCTWORK, ETC. AT FIRE RATED ASSEMBLIES.
- REFER TO THE FLOOR PLANS FOR IDENTIFICATION OF ALL FIRE AND SMOKE-RATED PARTITIONS.

PROJECT DESCRIPTION

THE UPPER TWO LEVELS OF A HISTORIC BUILDING THAT ARE CURRENTLY ABANDONED ARE BEING CONVERTED INTO RESIDENTIAL UNITS.

DRAWING LIST

SHEET NUMBER	DRAWING TITLE	9/29/2023 - PERMIT SET
00 GENERAL		
T000	TITLE SHEET	X
T001	RENDERINGS	X
T002	MOUNTING HEIGHTS + ABBREVIATIONS	X
T003	MOUNTING HEIGHTS CONTINUED	X
T004	CODE COMPLIANCE - REHAB	X
T006	CODE COMPLIANCE	X
T007	CODE COMPLIANCE	X
T008	AREA PLANS	X
T009	AREA PLANS	X
01 CIVIL		
C100	ARCHITECTURAL SITE PLAN	X
02 ARCHITECTURAL		
A000	EXISTING FLOOR PLANS	X
A001	EXISTING FLOOR PLANS	X
A110	DEMOLITION PLANS	X
A111	DEMOLITION PLANS	X
A120	PARTITION TYPES	X
A121	NEW FLOOR PLANS	X
A122	NEW FLOOR PLANS	X
A130	ENLARGED PLANS	X
A131	ENLARGED PLANS	X
A132	ENLARGED PLANS	X
A133	ENLARGED PLANS	X
A140	FINISH PLANS	X
A141	FINISH SCHEDULE	X
A150	ENLARGED ELEVATOR PLANS	X
A200	REFLECTED CEILING PLANS	X
A201	REFLECTED CEILING PLANS	X
A210	CEILING DETAILS	X
A220	ROOF PLAN	X
A221	RUBBER ROOF DETAILS	X
A300	INTERIOR ELEVATIONS	X
A301	INTERIOR ELEVATIONS	X
A302	INTERIOR ELEVATIONS	X
A303	INTERIOR ELEVATIONS	X
A310	INTERIOR DETAILS	X
A400	DOOR SCHEDULE AND DETAILS	X
A410	WINDOW SCHEDULE AND DETAILS	X
A411	GLAZING ELEVATIONS	X
A500	EXTERIOR ELEVATIONS & MASONRY NOTES	X
A501	ENLARGED EXTERIOR ELEVATIONS	X
A502	ENLARGED EXTERIOR ELEVATIONS	X
A503	ENLARGED EXTERIOR ELEVATIONS	X
A504	ENLARGED EXTERIOR ELEVATIONS	X
A505	ENLARGED EXTERIOR ELEVATION DETAILS	X
A506	ENLARGED EXTERIOR ELEVATION DETAILS	X
A507	ENLARGED EXTERIOR ELEVATION DETAILS	X
A600	BUILDING SECTIONS	X
A601	ELEVATOR SECTIONS & DETAILS	X
A602	ELEVATOR INTERIOR FINISHES	X
A700	ELEVATOR WALL SECTIONS	X
A800	SECTION DETAILS	X
03 MECHANICAL		
M000	MECHANICAL SYMBOLS AND NOTES	X
M001	MECHANICAL SPECIFICATIONS	X
M110	OVERALL BASEMENT & FIRST FLOOR FIRE SUPPRESSION PLANS	X
M120	OVERALL SECOND & THIRD FLOOR FIRST SUPPRESSION PLANS	X
M210	OVERALL BASEMENT & FIRST FLOOR PLUMBING PLANS	X
M220	OVERALL SECOND & THIRD FLOOR PLUMBING PLANS	X
M220A	SECOND FLOOR PLUMBING PLAN - WEST	X
M220B	SECOND FLOOR PLUMBING PLAN - EAST	X
M230A	THIRD FLOOR PLUMBING PLAN - WEST	X
M230B	THIRD FLOOR PLUMBING PLAN - EAST	X
M310	OVERALL BASEMENT & FIRST FLOOR SHEET METAL PLANS	X
M320	OVERALL SECOND & THIRD FLOOR SHEET METAL PLANS	X
M320A	SECOND FLOOR SHEET METAL PLAN - WEST	X
M320B	SECOND FLOOR SHEET METAL PLAN - EAST	X
M330A	THIRD FLOOR SHEET METAL PLAN - WEST	X
M330B	THIRD FLOOR SHEET METAL PLAN - EAST	X
M340	OVERALL MECHANICAL ROOF PLAN	X
M701	MECHANICAL SCHEDULES	X
M710	MECHANICAL DETAILS	X
M711	MECHANICAL DETAILS	X
MD110	OVERALL BASEMENT & FIRST FLOOR MECHANICAL DEMOLITION PLANS	X
MD120	OVERALL SECOND & THIRD FLOOR MECHANICAL DEMOLITION PLANS	X
04 ELECTRICAL		
E000	ELECTRICAL SYMBOLS AND SPECIFICATIONS	X
E110	BASEMENT AND FIRST FLOOR OVERALL POWER PLANS	X
E120	SECOND AND THIRD FLOOR OVERALL POWER PLANS	X
E120A	SECOND FLOOR ENLARGED POWER PLAN - WEST	X
E120B	SECOND FLOOR ENLARGED POWER PLAN - EAST	X
E130A	THIRD FLOOR ENLARGED POWER PLAN - WEST	X
E130B	THIRD FLOOR ENLARGED POWER PLAN - EAST	X
E140	ROOF POWER PLAN	X
E210	BASEMENT AND FIRST FLOOR OVERALL LIGHTING PLANS	X
E220	SECOND AND THIRD FLOOR OVERALL LIGHTING PLANS	X
E220A	SECOND FLOOR ENLARGED LIGHTING PLAN - WEST	X
E220B	SECOND FLOOR ENLARGED LIGHTING PLAN - EAST	X
E230A	THIRD FLOOR ENLARGED LIGHTING PLAN - WEST	X
E230B	THIRD FLOOR ENLARGED LIGHTING PLAN - EAST	X
E301	ELECTRICAL ELEVATIONS	X
E401	ELECTRICAL ONE-LINE DIAGRAM	X
E402	ELECTRICAL FEEDER SCHEDULES	X
E403	ELECTRICAL DETAILS	X
E420	LIGHTING FIXTURE SCHEDULES AND DETAILS	X
E501	ELECTRICAL PANEL LOAD SCHEDULES	X
E502	ELECTRICAL PANEL LOAD SCHEDULES	X
E503	ELECTRICAL PANEL LOAD SCHEDULES	X
E504	ELECTRICAL PANEL LOAD SCHEDULES	X
ED110	BASEMENT AND FIRST FLOOR ELECTRICAL DEMOLITION PLANS	X
ED120	SECOND AND THIRD FLOOR ELECTRICAL DEMOLITION PLANS	X
Grand total: 97		



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PROJECT NAME
123 N. WASHINGTON
PROJECT ADDRESS
123 N. WASHINGTON STREET, OWOSSO MI
CLIENT
RANDY AND JAMES WOODWORTH

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RENDERINGS

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ABBREVIATION LIST

A/C	AIR CONDITIONING
A/V	AUDIO/VISUAL
ACP	ACOUSTICAL CEILING PANEL
AD	AREA DRAIN
ADA	AMERICANS WITH DISABILITIES ACT
ADJ	ADJUSTABLE
AFF	ABOVE FINISHED FLOOR
ALT	ALTERNATE
ALUM	ALUMINIUM
APPROX	APPROXIMATELY
ARCH	ARCHITECT (URAL, URE)
ASSOC	ASSOCIATED
AUTO	AUTOMATIC
AWP	ACOUSTICAL WALL PANEL
BD	BOARD
BF	BARRIER FREE
BIT	BITUMINOUS, BITUMEN
BLDG	BUILDING
BLKG	BLOCKING
BM	BEAM
BOT	BOTTOM
CAB	CABINET
CJ	CONTROL JOINT
CLG	CEILING
CLR	CLEAR(ANCE)
CMU	CONCRETE MASONRY UNIT
COL	COLUMN
COM	COMMUNICATIONS
CONC	CONCRETE
CONFIG	CONFIGURATION
CONST	CONSTRUCTION
CONT	CONTINUOUS
COORD	COORDINATE
CORR	CORRIDOR
CPT	CARPET
CT	CERAMIC TILE
CTR	CENTER
DEG	DEGREE
DF	DRINKING FOUNTAIN
DIA	DIAMETER
DIAG	DIAGONAL
DIM	DIMENSION
DIV	DIVISION
DN	DOWN
DR	DOOR
DS	DOWNSPOUT
DTL	DETAIL
DWG(S)	DRAWING(S)
E	EAST
EA	EACH
EJ	EXPANSION JOINT
EL	ELEVATION
ELEC	ELECTRICAL
ELEV	ELEVATION
EMER	EMERGENCY
ENCL	ENCLOSURE
EQ	EQUAL
EQUIP	EQUIPMENT
EST	ESTIMATE(D)
EXIST	EXISTING
EXP	EXPANSION
EXT	EXTERIOR
FA	FIRE ALARM
FD	FLOOR DRAIN
FDN	FOUNDATION
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET
FF	FINISHED FACE
FGL	FIBERGLASS
FHC	FIRE HOSE CABINET
FIXT	FIXTURE
FL	FLOOR(ING)
FLUOR	FLUORESCENT
FOC	FACE OF CONCRETE
FOS	FACE OF STUDS
FP	FIREPROOF(ING)
FT	FEET
FTG	FOOTING
FUR	FURRING(ING)
GA	GAUGE
GALV	GALVANIZED
GB	GRAB BAR
GC	GENERAL CONTRACT(OR)
GL	GLASS, GLAZING
GOVT	GOVERNMENT
GT	GROUT
GYP BD	GYPSUM WALLBOARD
HC	HOLLOW CORE
HDR	HEADER
HDWD	HARDWOOD
HDWR	HARDWARE
HGT	HEIGHT
HM	HOLLOW METAL
HORIZ	HORIZONTAL
HP	HIGH POINT
HR	HOUR
HT	HEIGHT
HVAC	HEATING, VENTILATION & AIR CONDITIONING
ID	INSIDE DIAMETER
IN	INCH(ES)
INCAN	INCANDESCENT
INCL	INCLUDE(D,ING)
INSUL	INSULATION, INSULATED
INT	INTERIOR
JAN	JANITOR
JT(S)	JOINT(S)
KIT	KITCHEN

ABBREVIATION LIST

LAM	LAMINATE(D)
LAV	LAVATORY
LBL	LABEL
LH	LEFT HAND
LL	LIVE LOAD
LP	LOW POINT
LTG	LIGHTING
LTL	LINTEL
MANF	MANUFACTURE(R)
MAS	MASONRY
MATL	MATERIAL(S)
MAX	MAXIMUM
MECH	MECHANICAL
MEMB	MEMBRANE
MIN	MINIMUM
MISC	MISCELLANEOUS
MO	MASONRY OPENING
MTD	MOUNTED
MTG	MOUNTING
MTL	METAL
N	NORTH
N/A	NOT APPLICABLE
NAT	NATURAL
NIC	NOT IN CONTRACT
NO	NUMBER
NOM	NOMINAL
NTS	NOT TO SCALE
OC	ON CENTER
OD	OUTSIDE DIAMETER
OH	OVERHEAD
OPNG	OPENING
OPP	OPPOSITE
OPP HD	OPPOSITE HAND
PART	PARTITION
PC	PRECAST
PERF	PERFORATE(D)
PL	PLATE
PLAM	PLASTIC LAMINATE
PLAS	PLASTER
PLWD	PLYWOOD
PNL	PANEL(ED)
PR	PAIR
PREP	PREPARE (SURFACE)
PROV	PROVIDE
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
PT	PAINT
PVMT	PAVEMENT
QTY	QUANTITY
R	RISER
RAD	RADIUS
RB	RUBBER BASE
REF	REFRIGERATOR
REINF	REINFORCED
REQD / REQ'D	REQUIRED
RES	RESILIENT
RET	RETAINING
REV	REVISION(S) / REVISE(D)
RFG	ROOFING
RH	RIGHT HAND
RM	ROOM
RO	ROUGH OPENING
S	SOUTH
SC	SOLID CORE
SCHED	SCHEDULE
SECT	SECTION
SF	SQUARE FEET
SHT	SHEET
SIM	SIMILAR
SPEC(S)	SPECIFICATION(S)
SQ	SQUARE
SS	STAINLESS STEEL
STD	STANDARD
STL	STEEL
STN	STAIN
STO	STORAGE
STRUC	STRUCTURAL
SUSP	SUSPENDED
SYM	SYMMETRICAL
SYS	SYSTEM
T	TREAD
T&G	TONGUE AND GROOVE
T.O.	TOP OF
TECH	TECHNOLOGY
TEL	TELEPHONE
TEMP	TEMPERED
THK	THICK(NESS)
THRESH	THRESHOLD
TOC	TOP OF CURB
TOM	TOP OF MASONRY
TOS	TOP OF STEEL
TOW	TOP OF WALL
TRANS	TRANSPARENT
TV	TELEVISION
TYP	TYPICAL
UL	UNDERWRITER'S LABORATORY
UNFIN	UNFINISHED
UNO	UNLESS OTHERWISE NOTED
VAR	VARIABLE
VCT	VINYL COMPOSITION TILE
VERT	VERTICAL
VEST	VESTIBULE
VIF	VERIFY IN FIELD
VU	VENTILATION UNIT
VWC	VINYL WALLCOVERING

ABBREVIATION LIST

W	WATER RESISTANT
W/O	WITHOUT
WC	WATER CLOSET
WD	WOOD
WDW	WINDOW
WH	WALL HUNG
WP	WORK POINT
WR	PAINT(ED)
WT	WEIGHT
WWF	WELDED WIRE FABRIC
#	NUMBER
&	AND
+/-	EXIST (OR APPROX) DIM - VIF
CL	CENTER LINE
L	ANGLE

INTERIOR STEEL STUD FRAMING

THE INTERIOR STUD FRAMING GUIDE DESIGNATES THE INTENT OF THE ARCHITECT. THE GUIDE IS FOR THE CONTRACTORS REFERENCE WHEN INSTALLING INTERIOR STUD FRAMED WALLS. IT IS THE CONTRACTORS RESPONSIBILITY TO FOLLOW ALL INFORMATION PORTRAYED WITHIN THIS GUIDE AND THE CONTRACT DOCUMENTS.

NOTE: VERIFY MIN. STEEL STUD FRAMING GAUGE REQUIREMENTS / MAXIMUM ALLOWABLE HEIGHTS WITH STEEL STUD FRAMING SUPPLIER.

*FIRE BLOCKING TO BE PROVIDED HORIZONTALLY AT 10'-0" O.C. MAX. FIRE CAULK AROUND BLOCKING, IF METAL STUDS ARE USED A MINIMUM OF 20 GA. STUDS MUST BE UTILIZED.

MAXIMUM ALLOWABLE HEIGHTS (NON-LOAD BEARING - METAL STUDS)

STEEL STUD FRAMING SECTION 092216	COLD-FORMED MTL FRAMING SECTION 054000						* DEFLECTION = L/360 * SPACING = 16" O.C.
	GA.	25	20	18	16	14	
2 1/2"	9'-10"	11'-2"	12'-7"	13'-5"	14'-4"	--	
3 5/8"	12'-4"	14'-3"	16'-8"	17'-11"	19'-2"	21'-2"	
4"	17'-11"	21'-4"	24'-9"	26'-7"	28'-4"	31'-8"	
2 1/2" CH STUD	10'-7"	13'-4"	--	--	--	--	

GENERAL NOTES

*THE MOUNTING HEIGHTS, MATERIALS, AND SYMBOLS SHOWN ON THIS PAGE ARE FOR REFERENCE THROUGHOUT THE PROJECT. NOT ALL ELEMENTS SHOWN WILL APPLY TO THIS SPECIFIC PROJECT. REVIEW THE PROJECT PLANS, SECTIONS, AND ELEVATIONS FOR ADDITIONAL DETAILS AND TO VERIFY WHAT RELATES TO THIS PROJECT.

MATERIAL DESIGNATIONS & SYMBOLS

	EXISTING WALL TO REMAIN	Room name	ROOM NUMBER
	NEW WALL	101	FINISH TYPE
	1 HOUR PARTITION	11	DOOR NUMBER
	2 HOUR PARTITION	11	WALL TYPES
	3 HOUR PARTITION	11	WINDOW NUMBER
	ELEMENTS TO BE REMOVED	11	EXISTING ELEVATION
	EXTENT OF WORK	11	NEW ELEVATION
	CMU	1	COLUMN CENTER LINE / IDENTIFIER
	CONCRETE		BATT INSULATION
	WOOD BLOCKING	1	REVISION INDICATION
	STEEL (LARGE SCALE)		
	PLASTER		
	RIGID INSULATION		
	PLYWOOD		
	MILLWORK		

DETAIL / PLAN / ELEVATION

DRAWING REFERENCE: 1 SIM

SHEET REFERENCE: A101

BLDG SECTION CUT

DRAWING REFERENCE: 1 SIM

SHEET REFERENCE: A101

WALL SECTION

DRAWING REFERENCE: 1 SIM

SHEET REFERENCE: A101

REQUIRED CLEARANCES

CLEAR FLOOR SPACE: 48" MIN

FORWARD APPROACH: 30" MIN

PARALLEL APPROACH: 48" MIN

ALCOVE, FORWARD APPROACH: 36" MIN

ALCOVE, SIDE APPROACH: 60" MIN

60" TURNING DIAMETER

T-SHAPED TURNING SPACE: 12" MIN, 36" MIN, 12" MIN, 60" MIN, 24" MIN, 36" MIN

REQUIRED PUSH/PULL CLEARANCES

FRONT APPROACH - PULL SIDE: 60" MIN, 18" MIN

FRONT APPROACH - PUSH SIDE: 48" MIN, 12" MIN

FRONT APPROACH - PUSH SIDE: 48" MIN

HINGE APPROACH - PULL SIDE: 48" MIN, 42" MIN

HINGE APPROACH - PUSH SIDE: 48" MIN, 22" MIN

TYPICAL MOUNTING HEIGHTS

1. MOUNTING HEIGHTS SHOWN ARE BASED UPON RECOGNIZED DESIGN STANDARDS AND/OR BARRIER FREE CODE REQUIREMENTS. IT IS INTENDED THAT LIKE DEVICES ALL BE MOUNTED AT THE SAME HEIGHT THROUGHOUT THE ENTIRE PROJECT. RECESSED DEVICES IN MASONRY WALLS MAY DICTATE A DEVIATION (+/- 2") FROM THESE HEIGHTS (WHEN PERMITTED BY CODE) SO AS TO ALLOW THE BOTTOM OR THE TOP OF THE DEVICE RECESS TO ALIGN WITH MASONRY COURSING. COORDINATE THESE DEVIATIONS WITH THE ARCHITECTS/OWNER'S REPRESENTATIVE. MOUNTING HEIGHTS ARE TYPICAL UNLESS NOTED OTHERWISE ON DRAWINGS.

DIMENSIONING

1. DIMENSIONS ARE FROM FINISHED FACE TO FINISHED FACE, UNLESS NOTED OTHERWISE. SEE DIMENSIONING KEY ON THIS PAGE FOR REFERENCE

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FRAMING LEGEND

16" OR 24" O.C. AS NOTED

COMMON STUD

KING STUD

JACK STUD

TOP PLATE

TOP CRIPPLE

HEADER

KING STUD

JACK STUD

COMMON STUD

BOTTOM PLATE

*PROVIDE TREATED WOOD OR METAL TRACK AGAINST ANY CONC. OR MASONRY SURFACE

DIMENSIONING KEY

PARTITION AT RIGHT ANGLE

*IF THE DOOR IS NOT AGAINST A RIGHT ANGLE PARTITION OR EXISTING, IT IS TO BE CENTERED IN THE ROOM, U.N.O.

DIMENSIONING SYSTEM (UNLESS NOTED OTHERWISE)

FINISH FACE OF NEW CONSTRUCTION

2'-6"

COLUMN LINE

FINISH FACE OF NEW CONSTRUCTION

2'-0"

FINISH FACE OF EXISTING CONSTRUCTION

FINISH FACE OF NEW CONSTRUCTION

ALIGN

FINISH FACE OF EXISTING CONSTRUCTION

PROJECT NAME: 123 N. WASHINGTON
PROJECT ADDRESS: 123 N. WASHINGTON STREET, OWOSSO MI
CLIENT: RANDY AND JAMES WOODWORTH

ISSUE: PERMIT SET

REVISION:

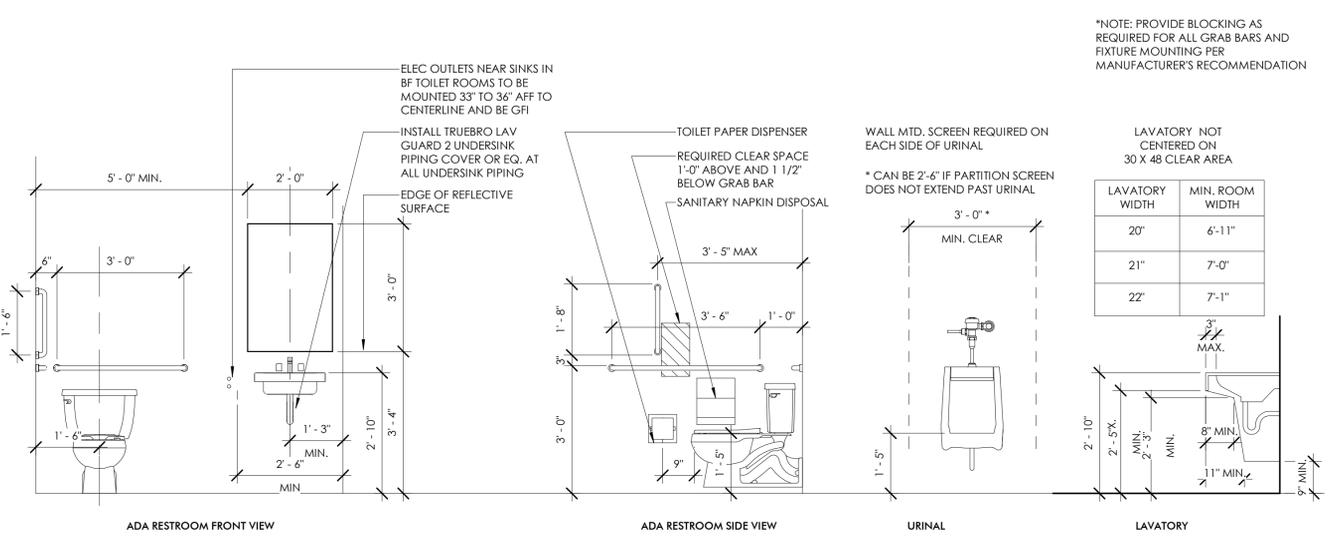
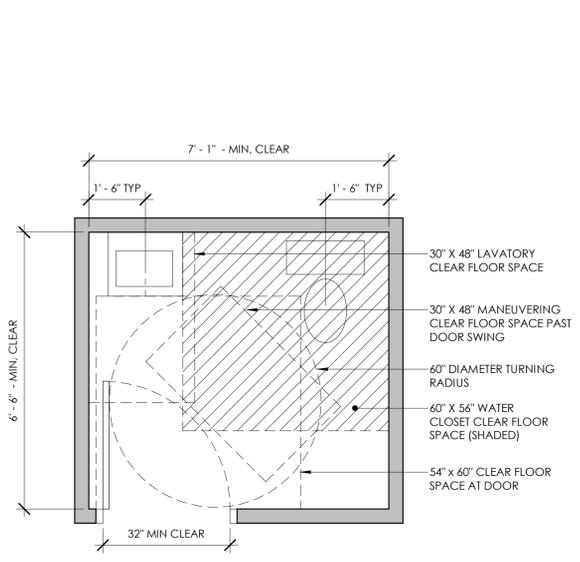
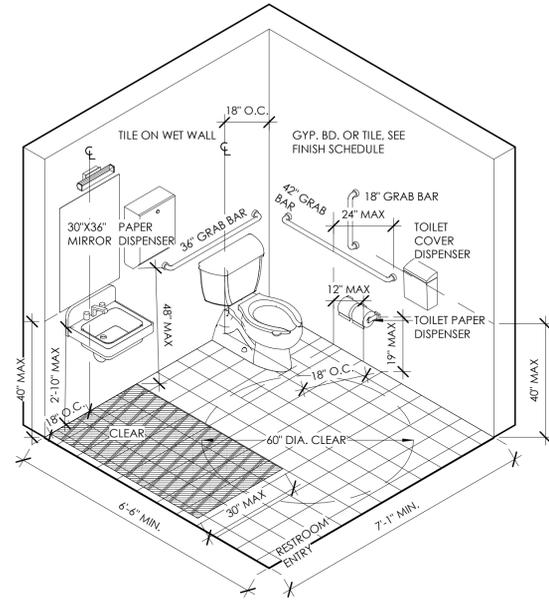
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MOUNTING HEIGHTS + ABBREVIATIONS

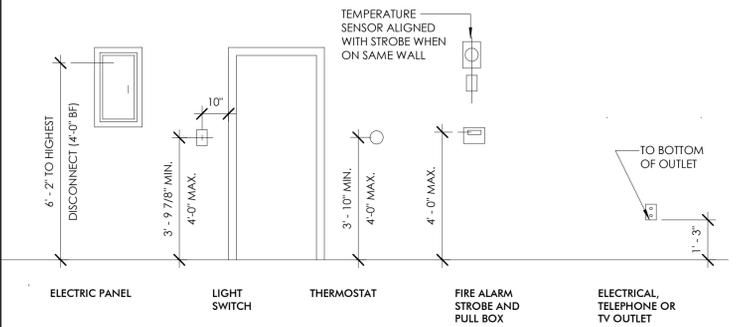
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*NOTE: PROVIDE BLOCKING AS REQUIRED FOR ALL GRAB BARS AND FIXTURE MOUNTING PER MANUFACTURER'S RECOMMENDATION



LAVATORY WIDTH	MIN. ROOM WIDTH
20"	6'-11"
21"	7'-0"
22"	7'-1"

ELECTRICAL DETAILS

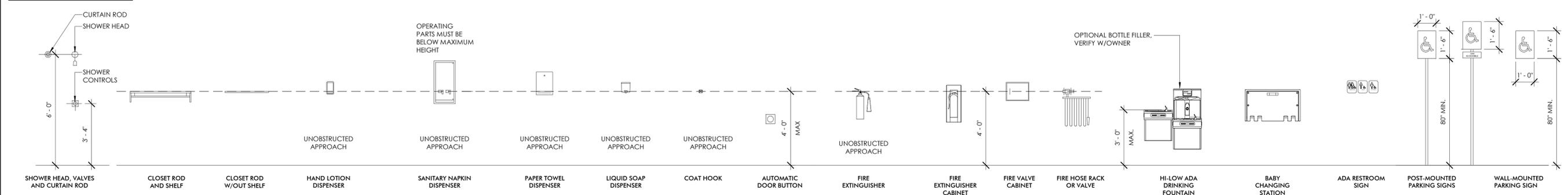


ACCESSORIES SCHEDULE

TYPE MARK	DESCRIPTION	MANUFACTURER	MODEL	COMMENTS
HK-1	HOOK	KOHLER	K-27395-CP	CHROME FINISH
MI-1	MIRROR	KOHLER	K-99650-1WA	LINEN WHITE FINISH
SE-1	SHOWER ENCLOSURE	DREAMLINE	DL-6107C-01CL INFINITY Z	CHROME FINISH
TA-1	TOWEL ARM	KOHLER	K-27396-CP	CHROME FINISH
TB-1	TOWEL BAR	KOHLER	K-27394-CP	CHROME FINISH
TPH-1	TOWEL PAPER HOLDER	KOHLER	K-27397-CP	CHROME FINISH

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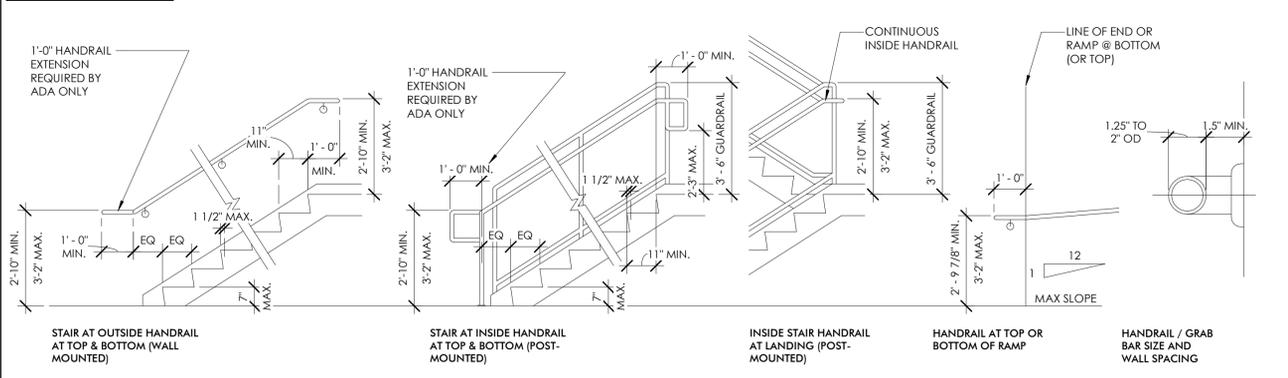
MOUNTING HEIGHTS



PROJECT NAME
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MOUNTING HEIGHTS CONTINUED

2015 MICHIGAN REHABILITATION CODE

CHAPTER 5: CLASSIFICATION OF WORK

SECTION 504

AREA OF RENOVATION = 10,272 SQUARE FEET, WHICH IS 44% OF THE TOTAL BUILDING AREA. THE WORK IS LESS THAN 50% AND THEREFORE IS CONSIDERED A LEVEL 2 ALTERATION.

SECTION 508.2 EXCEPT AS SPECIFICALLY PROVIDED FOR IN CHAPTER 12, HISTORIC BUILDINGS SHALL COMPLY WITH APPLICABLE PROVISIONS OF THIS CODE FOR THE TYPE OF WORK BEING PERFORMED. THE BUILDING IS CURRENTLY LISTED ON THE STATE REGISTRY OF HISTORIC PROPERTIES.

CHAPTER 7: ALTERATIONS - LEVEL 1

SECTION 702.5 EMERGENCY ESCAPE AND RESCUE OPENINGS, WHERE WINDOWS ARE REQUIRED TO PROVIDE EMERGENCY ESCAPE AND RESCUE OPENINGS IN GROUP R-2 AND R-23 OCCUPANCIES AND ONE AND TWO FAMILY DWELLINGS AND TOWNHOUSES REGULATED BY THE INTERNATIONAL RESIDENTIAL CODE, REPLACEMENT WINDOWS SHALL BE EXEMPT FROM THE REQUIREMENTS OF SECTIONS 1030.2, 1030.3 AND 1030.5 OF THE INTERNATIONAL BUILDING CODE AND SECTIONS R310.2.1 AND R310.2.3 OF THE INTERNATIONAL RESIDENTIAL CODE ACCORDINGLY, PROVIDED THE REPLACEMENT WINDOW IS THE MANUFACTURER'S LARGEST STANDARD SIZE WINDOW THAT WILL FIT WITHIN THE EXISTING FRAME OR EXISTING ROUGH OPENING. THE REPLACEMENT WINDOW SHALL BE PERMITTED TO BE OF THE SAME OPERATING STYLE AS THE EXISTING WINDOW OR A STYLE THAT PROVIDES FOR AN EQUAL OR GREATER WINDOW OPENING AREA THAN THE EXISTING WINDOWS.

SECTION 702.6 MATERIALS AND METHODS, ALL NEW WORK SHALL COMPLY WITH THE MATERIALS AND METHOD REQUIREMENTS IN THE INTERNATIONAL BUILDING CODE, INTERNATIONAL ENERGY CONSERVATION CODE, INTERNATIONAL MECHANICAL CODE, AND INTERNATIONAL PLUMBING CODE, AS APPLICABLE, THAT SPECIFY MATERIAL STANDARDS, DETAIL OF INSTALLATION AND CONNECTION, JOINTS, PENETRATIONS, AND CONTINUITY OF ANY ELEMENT, COMPONENT, OR SYSTEM IN THE BUILDING.

SECTION 704.1 GENERAL. ALTERATIONS SHOWS BE DONE IN A MANNER THAT MAINTAINS THE LEVEL OF PROTECTION PROVIDED FOR THE MEANS OF EGRESS.

SECTION 708.1 MINIMUM REQUIREMENTS, LEVEL 1 ALTERATIONS TO EXISTING BUILDINGS OR STRUCTURES ARE PERMITTED WITHOUT REQUIRING THE ENTIRE BUILDING OR STRUCTURE TO COMPLY WITH THE ENERGY REQUIREMENTS OF THE INTERNATIONAL ENERGY CONSERVATION CODE OR INTERNATIONAL RESIDENTIAL CODE. THE ALTERATIONS SHALL CONFIRM TO THE ENERGY REQUIREMENTS OF THE INTERNATIONAL ENERGY CONSERVATION CODE OR INTERNATIONAL RESIDENTIAL CODE AS THEY RELATE TO NEW CONSTRUCTION ONLY.

CHAPTER 8: ALTERATIONS - LEVEL 2

SECTION 801.3 COMPLIANCE, ALL NEW CONSTRUCTION ELEMENTS, COMPONENTS, SYSTEMS, AND SPACES SHALL COMPLY WITH THE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE. **EXCEPTIONS:** 1. WINDOWS MAY BE ADDED WITHOUT REQUIRING COMPONENTS, SYSTEMS, AND SPACES SHALL COMPLY WITH THE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE. 2. NEWLY INSTALLED ELECTRICAL EQUIPMENT SHALL COMPLY WITH THE REQUIREMENTS OF SECTION 808. 3. THE LENGTH OF DEAD-END CORRIDORS IN NEWLY CONSTRUCTED SPACES SHALL ONLY BE REQUIRED TO COMPLY WITH THE PROVISIONS OF SECTION 805.6. 4. THE MINIMUM CEILING HEIGHT OF THE NEWLY CREATED HABITABLE AND OCCUPIABLE SPACES AND CORRIDORS SHALL BE 7 FEET.

SECTION 803.2 VERTICAL OPENINGS, EXISTING VERTICAL OPENINGS SHALL COMPLY WITH THE PROVISIONS OF SECTION 803.1, 803.2.2, AND 803.2.3.

SECTION 803.2.1 EXISTING VERTICAL OPENINGS, ALL EXISTING INTERIOR VERTICAL OPENINGS CONNECTING TWO OR MORE FLOORS SHALL BE ENCLOSED WITH APPROVED ASSEMBLIES HAVING A FIRE-RESISTANCE RATING OF NOT LESS THAN 1 HOUR WITH APPROVED OPENING PROTECTIVE. **EXCEPTIONS:** 1. WHERE VERTICAL OPENING ENCLOSURE IS NOT REQUIRED BY THE INTERNATIONAL BUILDING OR INTERNATIONAL FIRE CODE. 2. INTERIOR VERTICAL OPENINGS OTHER THAN STAIRWELLS MAY BE BLOCKED AT THE FLOOR AND CEILING OF THE WORK AREA BY INSTALLATION OF NEW LESS THAN 2" OF SOLID WOOD OR EQUIVALENT CONSTRUCTION. 3. THE ENCLOSURE SHALL NOT BE REQUIRED WHERE: 3.1 CONNECTING THE MAIN FLOOR AND MEZZANINES, OR 3.2 ALL OF THE FOLLOWING REQUIREMENTS ARE MET: THE COMMUNICATING AREA HAS A LOW HAZARD OCCUPANCY OR HAS A MODERATE HAZARD OCCUPANCY THAT IS PROTECTED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM. 3.2.2 THE LOWEST OR NEXT TO THE LOWEST LEVEL IS THE STREET LEVEL. 3.2.3 THE ENTIRE AREA IS OPEN AND UNOBSTRUCTED IN A MANNER SUCH THAT IT MAY BE ASSUMED THAT A FIRE IN ANY PART OF THE INTERCONNECTED SPACES WILL BE READILY OBVIOUS TO ALL OF THE OCCUPANTS. 3.2.4 EXIT CAPACITY IS SUFFICIENT TO PROVIDE EGRESS SIMULTANEOUSLY FOR ALL OCCUPANTS OF ALL LEVELS BY CONSIDERING ALL AREAS TO BE A SINGLE FLOOR AREA FOR THE DETERMINATE OF REQUIRED EXIT CAPACITY. 3.2.5 EACH FLOOR LEVEL, CONSIDERED SEPARATELY HAS AT LEAST ONE-HALF OF ITS INDIVIDUAL REQUIRED EXIT CAPACITY PROVIDED BY AN EXIT OR EXITS LEADING DIRECTLY OUT OF THAT LEVEL WITHOUT HAVING TO TRAVERSE ANOTHER COMMUNICATING FLOOR LEVEL OR BE EXPOSED TO THE SMOKE OR FIRE SPREADING FROM ANOTHER COMMUNICATING FLOOR LEVEL.

SECTION 803.2.1 #11, IN GROUP R-2 OCCUPANCIES, A MINIMUM 30-MINUTE ENCLOSURE SHALL BE PROVIDED TO PROTECT ALL VERTICAL OPENINGS NOT EXCEEDING THREE STORIES. THIS ENCLOSURE OF THE ENCLOSURE SPECIFIED IN SECTION 803.2.1, SHALL NOT BE REQUIRED IN THE FOLLOWING LOCATIONS: 11.1 VERTICAL OPENINGS NOT EXCEEDING TWO STORIES WITH NOT MORE THAN FOUR DWELLING UNITS PER FLOOR. 11.2 BUILDINGS PROTECT THROUGHOUT BY AN APPROVED AUTOMATIC SPRINKLER SYSTEM. 11.3 BUILDING WITH NOT MORE THAN FOUR DWELLING UNITS PER FLOOR WHERE EVERY SLEEPING ROOM ABOVE THE SECOND FLOOR IS PROVIDED WITH DIRECT ACCESS TO A FIRE ESCAPE OR OTHER APPROVED EXTERIOR DOOR OR WINDOW S HAVING A SILL HEIGHT OR NOT GREATER THAN 44 INCHES AND THE BUILDING IS PROTECTED THROUGHOUT BY AN AUTOMATIC FIRE ALARM SYSTEM COMPLYING WITH SECTION 804.4.

SECTION 804.2.2.1 MIXED USES, IN WORK AREAS CONTAINING MIXED USES, ONE OR MORE OF WHICH REQUIRES AUTOMATIC SPRINKLER PROTECTION IN ACCORDANCE WITH SECTION 804.2.2, WHICH PROTECTION SHALL NOT BE REQUIRED THROUGHOUT THE WORK AREA PROVIDED THAT THE USES REQUIRING SUCH PROTECTION ARE SEPARATED FROM THOSE NOT REQUIRING PROTECTION BY FIRE RESISTANCE RATED CONSTRUCTION HAVING A MINIMUM 2-HOUR RATING FOR GROUP H AND A MINIMUM 1-HOUR RATING FOR ALL OTHER OCCUPANCY GROUPS.

SECTION 804.4.1.6 A FIRE ALARM SYSTEM SHALL BE INSTALLED IN WORK AREAS OF GROUP R-2 APARTMENT BUILDINGS AS REQUIRED BY THE INTERNATIONAL FIRE CODE FOR EXISTING GROUP R-2 OCCUPANCIES.

SECTION 804.4.3 INDIVIDUAL SLEEPING UNITS AND INDIVIDUAL DWELLING UNITS IN ANY WORK AREA IN GROUP R OCCUPANCIES SHALL BE PROVIDED WITH SMOKE ALARMS IN ACCORDANCE WITH THE MICHIGAN BUILDING CODE.

SECTION 805.3.1 EVERY STORY UTILIZED FOR HUMAN OCCUPANCY FROM WHICH THERE IS A WORK AREA THAT INCLUDES EXIT OR CORRIDORS SHARED BY MORE THAN ONE TENANT WITHIN THE WORK AREA SHALL BE PROVIDED WITH THE MINIMUM NUMBER OF EXITS BASED ON THE OCCUPANCY AND THE OCCUPANT LOAD IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE.

SECTION 805.3.1.1 SINGLE-EXIT BUILDINGS, ONLY ONE EXIT IS REQUIRED FROM BUILDINGS AND SPACES OF THE FOLLOWING OCCUPANCIES. 5. GROUPS R-1 AND R-2 NOT MORE THAN TWO STORIES IN HEIGHT, WHEN THERE ARE NOT MORE THAN FOUR DWELLING UNITS PER FLOOR AND THE EXIT ACCESS TRAVEL DISTANCE DOES NOT EXCEED 50 FEET. THE MINIMUM FIRE-RESISTANCE RATING OF THE EXIT ENCLOSURE AND OF THE OPENING PROTECTION SHALL BE 1 HOUR. 6. IN MULTILEVEL DWELLING UNITS IN BUILDINGS OF

SECTION 805.4.3 IN ANY WORK AREA, ALL DOORS OPENING ONTO AN EXIT PASSAGEWAY AT GRADE OR AN EXIT STAIRWAY SHALL BE SELF-CLOSING OR AUTOMATIC-CLOSING BY LISTED CLOSING DEVICES.

SECTION 805.5.1 ALL DWELLING UNIT OR SLEEPING UNIT CORRIDOR DOORS IN WORK AREAS IN BUILDINGS OF GROUPS R-2 SHALL BE AT LEAST 1 3/8" SOLID CORE WOOD OR APPROVED EQUIVALENT AND SHALL BE EQUIPPED WITH APPROVED DOOR CLOSERS. **EXCEPTION 5:** DOOR ASSEMBLIES HAVING A FIRE PROTECTION RATING OF AT LEAST 20 MINUTES.

SECTION 805.5.2 TRANSOMS, IN ALL BUILDINGS OF GROUP I-1, I-2, R-1, AND R-2 OCCUPANCIES, ALL TRANSOMS IN CORRIDOR WALLS IN WORK AREAS SHALL BE EITHER GLAZED WITH 1/4" WIRED GLASS SET IN METAL FRAMES OR OTHER GLAZING ASSEMBLIES HAVING A FIRE PROTECTION RATING AS REQUIRED FOR THE DOOR AND PERMANENTLY SECURED IN THE CLOSED POSITION OR SEALED WITH MATERIAL CONSISTENT WITH THE CORRIDOR CONSTRUCTION.

SECTION 805.6 DEAD-END CORRIDORS IN ANY WORK AREA SHALL NOT EXCEED 35 FEET.

SECTION 805.8.1 MEANS OF EGRESS IN ALL WORK AREAS SHALL BE PROVIDED WITH EXIT SIGNS IN ACCORDANCE WITH THE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE.

SECTION 807.2 NEW STRUCTURAL ELEMENTS IN ALTERATIONS SHALL COMPLY WITH THE INTERNATIONAL BUILDING CODE.

SECTION 807.4 ALTERATIONS SHALL NOT REDUCE THE CAPACITY OF EXISTING GRAVITY LOAD-CARRYING STRUCTURAL ELEMENTS UNLESS IT IS DEMONSTRATED THAT THE ELEMENTS HAVE THE CAPACITY TO CARRY THE APPLICABLE DESIGN GRAVITY LOADS REQUIRED BY THE INTERNATIONAL BUILDING CODE.

SECTION 808.1 ALL NEWLY INSTALLED ELECTRICAL EQUIPMENT AND WIRING RELATING TO WORK DONE IN ANY WORK AREA SHALL COMPLY WITH ALL APPLICABLE REQUIREMENTS OF NFPA 70.

SECTION 809.1 ALL RECONFIGURED SPACES INTENDED FOR OCCUPANCY AND ALL SPACES CONVERTED TO HABITABLE SPACE IN ANY WORK AREA SHALL BE PROVIDED WITH NATURAL OR MECHANICAL VENTILATION IN ACCORDANCE WITH THE INTERNATIONAL MECHANICAL CODE.

SECTION 811.1 LEVEL 2 ALTERATIONS TO EXISTING BUILDINGS SHALL CONFORM TO THE ENERGY REQUIREMENTS OF THE INTERNATIONAL ENERGY CONSERVATION CODE AS THEY RELATE TO NEW CONSTRUCTION ONLY.

CHAPTER 10: CHANGE OF OCCUPANCY

SECTION 1008.3 WHERE THE OCCUPANCY OF PART OF AN EXISTING BUILDING IS CHANGED, ELECTRICAL SERVICE SHALL BE UPGRADED TO MEET THE REQUIREMENTS OF NFPA 70 FOR THE NEW OCCUPANCY.

SECTION 1012.1.1.2 WHERE A PORTION OF AN EXISTING BUILDING IS CHANGED TO A NEW OCCUPANCY CLASSIFICATION, AND THAT PORTION IS SEPARATED FROM THE REMAINDER OF THE BUILDING WITH FIRE BARRIERS HAVING A FIRE-RESISTANCE RATING AS REQUIRED IN THE INTERNATIONAL BUILDING CODE FOR THE SEPARATE OCCUPANCY, THAT PORTION SHALL COMPLY WITH ALL OF THE REQUIREMENTS OF CHAPTER 9 FOR THE NEW OCCUPANCY CLASSIFICATION.

TABLE 1012.4 OCCUPANCY CLASSIFICATIONS R-1 AND R-2 ARE BOTH CONSIDERED RELATIVE HAZARD LEVEL 3.

SECTION 1012.4.2 WHEN THE CHANGE OF OCCUPANCY CLASSIFICATION IS MADE TO AN EQUAL OR LESSER HAZARD CATEGORY AS SHOWN IN TABLE 1012.4, EXISTING ELEMENTS OF THE MEANS OF EGRESS SHALL COMPLY WITH THE REQUIREMENTS OF SECTION 905 FOR THE NEW OCCUPANCY CLASSIFICATION. NEWLY CONSTRUCTED OR CONFIGURED MEANS OF EGRESS SHALL COMPLY WITH THE REQUIREMENTS OF CHAPTER 10 OF THE INTERNATIONAL BUILDING CODE. THE ORIGINAL USE OF THE SECOND AND THIRD FLOORS WAS R-1. THE PROPOSED USE IS R-2.

TABLE 1012.5 OCCUPANCY CLASSIFICATIONS R-1 AND R-2 ARE BOTH CONSIDERED RELATIVE HAZARD LEVEL 2.

SECTION 1012.5.2 WHEN A CHANGE OF OCCUPANCY CLASSIFICATION IS MADE TO AN EQUAL OR LESSER HAZARD CATEGORY AS SHOWN IN TABLE 1012.5, THE HEIGHT AND AREA OF THE EXISTING BUILDING SHALL BE DEEMED ACCEPTABLE.

TABLE 1012.6 OCCUPANCY CLASSIFICATIONS R-1 AND R-2 ARE BOTH CONSIDERED RELATIVE HAZARD LEVEL 3.

SECTION 1012.6.2 WHEN A CHANGE OF OCCUPANCY CLASSIFICATION IS MADE TO AN EQUAL OR LESSER HAZARD CATEGORY AS SHOWN IN TABLE 1012.6, EXISTING EXTERIOR WALLS, INCLUDING OPENINGS SHALL BE ACCEPTED.

SECTION 1012.6.3 OPENINGS IN EXTERIOR WALLS SHALL BE PROTECTED AS REQUIRED BY THE INTERNATIONAL BUILDING CODE. **EXCEPTION 4:** EXTERIOR OPENING PROTECTIVES ARE NOT REQUIRED WHEN THE CHANGE OF OCCUPANCY GROUP IS TO AN EQUAL OR LOWER HAZARD CLASSIFICATION IN ACCORDANCE WITH TABLE 1012.6.

CHAPTER 11: ADDITIONS

SECTION 1102.1 NO ADDITION SHALL INCREASE THE HEIGHT OF AN EXISTING BUILDING BEYOND THAT PERMITTED UNDER THE APPLICABLE PROVISIONS OF CHAPTER 5 OF THE INTERNATIONAL BUILDING CODE FOR NEW BUILDINGS.

SECTION 1102.2 NO ADDITION SHALL INCREASE THE AREA OF AN EXISTING BUILDING BEYOND THAT PERMITTED UNDER THE APPLICABLE PROVISIONS OF CHAPTER 5 OF THE INTERNATIONAL BUILDING CODE FOR NEW BUILDINGS UNLESS FIRE SEPARATION AS REQUIRED BY THE INTERNATIONAL BUILDING CODE IS PROVIDED.

SECTION 1103.4 ANY STRUCTURAL ELEMENT OF AN EXISTING BUILDING SUBJECTED TO ADDITIONAL LOADS FROM THE EFFECTS OF SNOW DRIFT AS A RESULT OF AN ADDITION SHALL COMPLY WITH THE INTERNATIONAL BUILDING CODE.

SECTION 1106.1 ADDITIONS TO EXISTING BUILDINGS SHALL CONFORM TO THE ENERGY REQUIREMENTS OF THE INTERNATIONAL ENERGY CONSERVATION CODE AS THEY RELATE TO NEW CONSTRUCTION.

CHAPTER 12: HISTORIC BUILDINGS

SECTION 1204.1 EXCEPTION: TYPE B DWELLING OR SLEEPING UNITS REQUIRED BY SECTION 1107 OF THE INTERNATIONAL BUILDING CODE ARE NOT REQUIRED TO BE PROVIDED IN HISTORICAL BUILDINGS.

SECTION 1205.2 THE ALLOWABLE FLOOR AREA FOR HISTORIC BUILDINGS UNDERGOING A CHANGE OF OCCUPANCY SHALL BE PERMITTED TO EXCEED BY 20 PERCENT THE ALLOWABLE AREAS SPECIFIED IN CHAPTER 5 OF THE INTERNATIONAL BUILDING CODE

SECTION 1205.4 REQUIRED OCCUPANCY SEPARATIONS OF 1 HOUR MAY BE OMITTED WHEN THE BUILDING IS PROVIDED WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM THROUGHOUT.

SECTION 1205.10 WHERE 1-HOUR FIRE-RESISTANCE-RATED CONSTRUCTION IS REQUIRED BY THESE PROVISIONS, IT NEED NOT BE PROVIDED, REGARDLESS OF CONSTRUCTION OR OCCUPANCY, WHERE THE EXISTING WALL AND CEILING FINISH IS WOOD LATH AND PLASTER.

SECTION 1203.6 IN BUILDINGS OF THREE STORIES OR LESS, EXIT ENCLOSURE CONSTRUCTION SHALL LIMIT THE SPREAD OF SMOKE BY THE USE OF TIGHT-FITTING DOORS AND SOLID ELEMENTS. SUCH ELEMENTS ARE NOT REQUIRED TO HAVE A FIRE-RESISTANCE RATING.

SECTION 1205.6 EXISTING DOOR OPENINGS AND CORRIDOR AND STAIRWAY WIDTHS LESS THAN THOSE THAT WOULD BE ACCEPTABLE FOR NONHISTORIC BUILDINGS UNDER THESE PROVISIONS SHALL BE APPROVED, PROVIDED THAT, IN THE OPINION OF THE CODE OFFICIAL, THERE IS SUFFICIENT WIDTH AND HEIGHT FOR A PERSON TO PASS THROUGH THE OPENING OR TRAVERSE THE EXIT AND THAT THE CAPACITY OF THE EXIT SYSTEM IS ADEQUATE FOR THE OCCUPANT LOAD, OR WHERE OTHER OPERATIONAL CONTROLS TO LIMIT OCCUPANCY ARE APPROVED BY THE CODE OFFICIAL.

SECTION 1205.11 EXISTING STAIRWAYS SHALL COMPLY WITH THE REQUIREMENTS OF THESE PROVISIONS. THE CODE OFFICIAL SHALL GRANT ALTERNATIVES FOR STAIRWAYS AND GUARDS IF ALTERNATIVE STAIRWAYS ARE FOUND TO BE ACCEPTABLE OR ARE JUDGED TO MEET THE INTENT OF THESE PROVISIONS. EXISTING STAIRWAYS SHALL COMPLY WITH SECTION 1203.

CODE COMPLIANCE

TOPIC	SECTION	ALLOWED/REQUIRED	ACTUAL
APPLICABLE CODES			
2015 INTERNATIONAL FIRE CODE			
2015 MICHIGAN BUILDING CODE			
2015 MICHIGAN MECHANICAL CODE			
2015 MICHIGAN REHABILITATION CODE	504	LEVEL 2 ALTERATION	INTERIOR RENOVATION LESS THAN 50%
2017 NATIONAL ELECTRICAL CODE			
2018 MICHIGAN PLUMBING CODE			
ANSI/ASHRAE 90.1-2013			
ICC/ANSI 117.1-2009			
NFPA 13 (2013) + NFPA 72 (2013)			
ZONING			
	CITY OF OWOSSO		B-3 CENTRAL BUSINESS DISTRICT
1 - SCOPE AND ADMIN			
DEFERRED SUBMITTALS	107.3.4.1		THERE ARE NO DEFERRED SUBMITTALS FOR THIS PROJECT
DESIGN PROFESSIONAL IN CHARGE			
	107.3.4		CODY NEWMAN IS TO BE THE DESIGN PROFESSIONAL IN CHARGE
SPECIAL INSPECTIONS			
	110		THERE ARE NO SPECIAL INSPECTIONS FOR THIS PROJECT
3 - USE			
BUILDING USE	304.1 & 310.4	BEFORE - B (BUSINESS)	AFTER - B (BUSINESS) + R-2 (RESIDENTIAL)
3 - AREA BY USE			
BUSINESS			6,267 SF
RESIDENTIAL			10,272 SF
STORAGE			6,525 SF
3 - GROSS BUILDING AREA			
0 - BASEMENT			6,612 SF
1 - FIRST FLOOR			6,480 SF
2 - SECOND FLOOR			5,192 SF
3 - THIRD FLOOR			5,080 SF
TOTAL			23,364 SF
5 - GENERAL BUILDING HEIGHTS AND AREAS			
ALLOWABLE BUILDING HEIGHT	TABLE 504.3	55 FEET	46 FEET
BASE STORIES ALLOWED			
	TABLE 504.4	4 STORIES	3 STORIES
REQUIRED SEPARATION OF OCCUPANCIES			
	TABLE 508.4	1 HOUR	PROVIDED
TABULAR AREA	TABLE 506.2	48,000 SF	23,364 SF
6 - TYPE OF CONSTRUCTION			
TYPE OF CONSTRUCTION	TABLE 601		III-B
7 - FIRE AND SMOKE PROTECTION			
			SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS ARE REQUIRED IN ALL RESIDENTIAL UNITS
9 - FIRE PROTECTION SYSTEMS			
AUTOMATIC SPRINKLER SYSTEM	903.2.1.3	REQUIRED	PROVIDED
FIRE ALARM AND DETECTION SYSTEMS	907	REQUIRED	PROVIDED
10 - MEANS OF EGRESS			
DOOR EGRESS WIDTH	1005.3.2	36" PER UNIT	PROVIDED
EXIT ACCESS TRAVEL DISTANCE	TABLE 1017.2	250 FEET	210 FEET
NUMBER OF EXITS			
	TABLE 1006.3.1	2 ON MAIN LEVEL	PROVIDED
STAIR EGRESS WIDTH	1005.3.1	44"	PROVIDED
10 - OCCUPANCY			
OCCUPANCY	TABLE 1004.1.2	6,267 SF / 100	63 PEOPLE
	TABLE 1004.1.2	6,525 SF / 500	14 PEOPLE
OCCUPANCY	TABLE 1004.1.2	10,272 SF / 200	52 PEOPLE
TOTAL OCCUPANT LOAD			129 PEOPLE
15 - ROOF ASSEMBLY			
	1501.1		NEW 60 MIL WHITE TPO ROOF
27 - ELECTRICAL			
EMERGENCY LIGHTING	1008.1	WILL COMPLY	ON COMPLIANCE DRAWINGS
EMERGENCY POWER	1008.3.2, 1008.3.3	WILL COMPLY	ON COMPLIANCE DRAWINGS
EXIT SIGNS	1011.1	WILL COMPLY	ON COMPLIANCE DRAWINGS
28 - PLUMBING			
DRINKING FOUNTAIN REQUIREMENTS	TABLE 403.1	1 REQUIRED ON FIRST FLOOR	1 PROVIDED ON FIRST FLOOR
LAVATORY REQUIREMENTS	TABLE 403.1	1 MALE / 1 FEMALE ON FIRST FLOOR	PROVIDED
SERVICE SINK REQUIREMENTS	TABLE 403.1	1 REQUIRED ON FIRST FLOOR	1 PROVIDED ON FIRST FLOOR
WATER CLOSETS REQUIREMENTS	TABLE 403.1	2 MALE / 2 FEMALE ON FIRST FLOOR	PROVIDED



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PROJECT NAME

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PROJECT ADDRESS

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CLIENT

RANDY AND JAMES WOODWORTH

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PROJECT NUMBER

2023.113

CODE COMPLIANCE - REHAB

T004

2015 MICHIGAN BUILDING CODE

CHAPTER 3: USE AND OCCUPANCY CLASSIFICATION

SECTION 304.1 BUSINESS
SECTION 310.4 RESIDENTIAL GROUP R-2, RESIDENTIAL GROUP R-2 OCCUPANCIES CONTAINING SLEEPING UNITS OR MORE THAN TWO DWELLING UNITS WHERE THE OCCUPANTS ARE PRIMARILY PERMANENT IN NATURE INCLUDING APARTMENTS.

CHAPTER 4: SPECIAL DETAILED REQUIREMENTS BASED ON USE AND OCCUPANCY

SECTION 420.2 WALLS SEPARATING DWELLING UNITS SHALL BE CONSTRUCTED AS FIRE PARTITIONS IN ACCORDANCE WITH SECTION 708

SECTION 420.3 FLOOR ASSEMBLIES SEPARATING DWELLING UNITS IN THE SAME BUILDING AND SEPARATING DWELLING UNITS FROM OTHER OCCUPANCIES SHALL BE CONSTRUCTED AS HORIZONTAL ASSEMBLIES IN ACCORDANCE WITH SECTION 711

SECTION 420.5 GROUP R OCCUPANCIES SHALL BE EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.2.8. QUICK RESPONSE OR RESIDENTIAL AUTOMATIC SPRINKLER SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 903.3.2

SECTION 420.6 FIRE ALARM SYSTEMS AND SMOKE ALARMS SHALL BE PROVIDED IN GROUP R-2 OCCUPANCIES IN ACCORDANCE WITH SECTION 907.2.9 SINGLE OR MULTIPLE STATION SMOKE ALARMS SHALL BE PROVIDED IN GROUPS R-2 IN ACCORDANCE WITH SECTION 907.2.11.

CHAPTER 5: GENERAL BUILDING HEIGHTS AND AREAS

SEE CODE COMPLIANCE TABLE TO BUILDING HEIGHTS/AREAS/SEPARATION REQUIREMENTS
PER THE 2015 MICHIGAN REHABILITATION CODE SECTIONS 1205.4 AND 1205.10 THERE ARE NO REQUIRED SEPARATIONS BETWEEN THE STORAGE IN THE BASEMENT AND THE RESTAURANT AS WELL AS BETWEEN THE RESTAURANT AND THE RESIDENTIAL UNITS. THE BUILDING WILL BE COMPLETELY FIRE SUPPRESSED THROUGHOUT.

CHAPTER 6: TYPES OF CONSTRUCTION

SECTION 602 CONSTRUCTION CLASSIFICATION TYPE III-B, SEE CODE COMPLIANCE TABLE FOR ADDITIONAL INFORMATION

CHAPTER 7: FIRE AND SMOKE PROTECTION

SECTION 708.3 EXCEPTION 1: CORRIDOR WALLS PERMITTED TO HAVE A 1/2 HOUR FIRE RESISTANCE RATING BY TABLE 1020.1.

SECTION 711.2.3 THE SUPPORTING CONSTRUCTION SHALL BE PROTECTED TO AFFORD THE REQUIRED FIRE RESISTANCE RATING OF THE HORIZONTAL ASSEMBLY SUPPORTED. EXCEPTION: IN TYPE III-B BUILDINGS THE CONSTRUCTION SUPPORTING HORIZONTAL ASSEMBLIES AT THE SEPARATIONS OF THE DWELLING UNITS IS NOT REQUIRED TO BE FIRE RESISTANCE RATED.

SECTION 711.2.4.1 WHERE THE HORIZONTAL ASSEMBLY SEPARATED MIXED OCCUPANCIES, THE ASSEMBLY SHALL HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN THAT REQUIRED BY SECTION 508.4. HALF HOUR FIRE RESISTANCE IS REQUIRED IN TYPE III-B BUILDINGS CORRIDORS

SECTION 713.13.4 SHAFT ENCLOSURES SHALL HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN ONE HOUR WHERE CONNECTING THREE STORIES OR LESS

SECTION 713.14.1 EXCEPTION 4: ENCLOSED ELEVATOR LOBBIES ARE NOT REQUIRED WHERE THE BUILDING IS PROTECTED BY AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3.1.2.

TABLE 716.5 OPENINGS IN ONE HOUR FIRE BARRIERS FOR SHAFTS, EXIT ACCESS STAIRWAYS, AND INTERIOR EXITSTAIRWAYS ARE TO HAVE ONE HOUR FIRE DOORS

CHAPTER 8: INTERIOR FINISHES

TABLE 803.1.1 INTERIOR WALL AND CEILING FINISH REQUIREMENTS
INTERIOR WALL & CEILING FINISHES
EXIT ENCLOSURE AND PASSAGEWAY CLASS B / SMOKE-DEVELOPED INDEX 0-450 / FLAME SPREAD 26-75
CORRIDORS CLASS C / SMOKE-DEVELOPED INDEX 0-450 / FLAME SPREAD 76-200
ROOMS AND ENCLOSED SPACES C / SMOKE-DEVELOPED INDEX 0-450 / FLAME SPREAD 76-200

INTERIOR FINISH FLOOR REQUIREMENTS
INTERIOR WALL & CEILING FINISHES
EXIT ENCLOSURE AND PASSAGEWAY CLASS II / WATTS / CM2 .22 OR GREATER
CORRIDORS CLASS II / WATTS / CM2 .22 OR GREATER
ROOMS AND ENCLOSED SPACES CLASS II / WATTS / CM2 .22 OR GREATER

CHAPTER 9: FIRE PROTECTION SYSTEMS

SECTION 903.2.8 AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3 SHALL BE PROVIDED THROUGHOUT ALL BUILDINGS WITH A GROUP R FIRE AREA.

SECTION 906.1.1 EXCEPTION: IN GROUP R-2 OCCUPANCIES, PORTABLE FIRE EXTINGUISHERS SHALL BE REQUIRED ONLY IN LOCATIONS SPECIFIED IN ITEMS 2 THROUGH 6 WHERE EACH DWELLING UNIT IS PROVIDED WITH A PORTABLE FIRE EXTINGUISHER HAVING A MINIMUM RATING OF 1-A:10-B:C.

CHAPTER 10: MEAN OF EGRESS

SEE CODE COMPLIANCE TABLE FOR SIZING BREAKDOWN

SECTION 1005 MEANS OF EGRESS SIZING
SECTION 1005.3.1 STAIRWAYS .3" PER OCCUPANT; MINIMUM WIDTH 44" (36" IF < 50 OCCUPANTS (SECTION 1011.2))
SECTION 1005.3.2 OTHER ELEMENTS .2" PER OCCUPANT
SECTION 1010.1.1 DOORS 32" MINIMUM CLEAR WIDTH, CORRIDORS 44" MINIMUM CLEAR WIDTH
SECTION 1011.1.1 EXCEPTION 4: CHANGES IN ROOM ELEVATIONS OF THREE OR FEWER RISERS WITHIN DWELLING UNITS IN GROUP R-2 DO NOT REQUIRE HANDRAILS

TABLE 1017.2 MAXIMUM EXIT ACCESS TRAVEL DISTANCE
R USE GROUP AREAS 250'-0" WITH FIRE SUPPRESSION THROUGHOUT

SECTION 1020.4 EXCEPTION 2: IN OCCUPANCIES IN GROUP R-2, WHERE THE BUILDING IS EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM, THE LENGTH OF THE DEAD-END CORRIDORS SHALL NOT EXCEED 50'.

SECTION 1023.1 INTERIOR EXIT STAIRWAYS SHALL BE ENCLOSED AND LEAD DIRECTLY TO THE EXTERIOR OF THE BUILDING OR SHALL BE EXTENDED TO THE EXTERIOR OF THE BUILDING WITH AN EXIT PASSAGEWAY CONFORMING TO THE REQUIREMENTS OF SECTION 1024.

SECTION 1023.2 ENCLOSURES FOR INTERIOR EXIT STAIRWAYS SHALL BE CONSTRUCTION AS FIRE BARRIERS IN ACCORDANCE WITH SECTION 707. INTERIOR EXIT STAIRWAY ENCLOSURES SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 1 HOURS WHERE CONNECTING THREE STORIES OR LESS.

SECTION 1024.2 EXIT PASSAGEWAY ENCLOSURES SHALL HAVE WALLS, FLOORS, AND CEILINGS OF NOT LESS THAN A 1-HOUR FIRE-RESISTANCE RATING, AND NOT LESS THAN THAT REQUIRED FOR ANY CONNECTING INTERIOR EXIT STAIRWAY. EXIT PASSAGEWAYS SHALL BE CONSTRUCTED AS FIRE BARRIERS IN ACCORDANCE WITH SECTION 707.

CHAPTER 11: ACCESSIBILITY

SECTION 1107.6.2.2.1 IN GROUP R-2 OCCUPANCIES CONTAINING MORE THAN 20 DWELLING UNITS, AT LEAST 2 PERCENT BUT NOT LESS THAN ONE OF THE UNITS SHALL BE A TYPE A UNIT. THIS PROJECT CONTAINS 8 DWELLING UNITS, AND THEREFORE IS NOT REQUIRED TO HAVE ANY TYPE A UNITS.

SECTION 1107.6.2.2.2 WHERE THERE ARE FOUR OR MORE DWELLING UNITS INTENDED TO BE OCCUPIED AS A RESIDENCE IN A SINGLE STRUCTURE, EVERY DWELLING UNIT INTENDED TO BE OCCUPIED AS A RESIDENCE SHALL BE A TYPE B UNIT. NOTE THAT THE 2015 MICHIGAN REHABILITATION CODE 1204.1 STATES THAT TYPE B UNITS ARE NOT REQUIRED IN HISTORICAL BUILDINGS.

CHAPTER 12: INTERIOR ENVIRONMENT

SECTION 1207.2 WALLS, PARTITIONS, AND FLOOR/CEILING ASSEMBLIES SEPARATING DWELLING UNITS FROM EACH OTHER OR FROM PUBLIC OR SERVICE AREAS SHALL HAVE A SOUND TRANSMISSION CLASS OF NOT LESS THAN 50 FOR AIR-BORNE NOISE WHEN TESTED IN ACCORDANCE WITH ASTM E90. **PROVIDED STC = 50.**

SECTION 1207.3 FLOOR/CEILING ASSEMBLIES BETWEEN DWELLING UNITS OR BETWEEN A DWELLING UNIT AND A PUBLIC OR SERVICE AREA WITHIN THE STRUCTURE SHALL HAVE AN IMPACT INSULATION CLASS RATING OF NOT LESS THAN 50 WHEN TESTED IN ACCORDANCE WITH ASTM E492. **PROVIDED IIC = 57.**

SECTION 1208.2 OCCUPIABLE SPACES, HABITABLE SPACES, AND CORRIDORS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 7'-6". BATHROOMS, TOILET ROOMS, KITCHENS, STORAGE ROOMS, AND LAUNDRY ROOMS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 7'-0".
EXCEPTION 4: CORRIDORS CONTAINED WITHIN A DWELLING UNIT OR SLEEPING UNIT IN A GROUP R OCCUPANCY SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 7'-0".

CODE COMPLIANCE

TOPIC	SECTION	ALLOWED/REQUIRED	ACTUAL
APPLICABLE CODES			
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2015 MICHIGAN BUILDING CODE			
2015 MICHIGAN MECHANICAL CODE			
2015 MICHIGAN REHABILITATION CODE	504	LEVEL 2 ALTERATION	INTERIOR RENOVATION LESS THAN 50%
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2018 MICHIGAN PLUMBING CODE			
ANSI/ASHRAE 90.1-2013			
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NFPA 13 (2013) + NFPA 72 (2013)			
ZONING			
ZONING	CITY OF OWOSSO		B-3 CENTRAL BUSINESS DISTRICT
1 - SCOPE AND ADMIN			
DEFERRED SUBMITTALS	107.3.4.1		THERE ARE NO DEFERRED SUBMITTALS FOR THIS PROJECT
DESIGN PROFESSIONAL IN CHARGE	107.3.4		CODY NEWMAN IS TO BE THE DESIGN PROFESSIONAL IN CHARGE
SPECIAL INSPECTIONS	110		THERE ARE NO SPECIAL INSPECTIONS FOR THIS PROJECT
3 - USE			
BUILDING USE	304.1 & 310.4	BEFORE - B (BUSINESS)	AFTER - B (BUSINESS) + R-2 (RESIDENTIAL)
3 - AREA BY USE			
BUSINESS			6,267 SF
RESIDENTIAL			10,272 SF
STORAGE			6,525 SF
3 - GROSS BUILDING AREA			
0 - BASEMENT			6,612 SF
1 - FIRST FLOOR			6,480 SF
2 - SECOND FLOOR			5,192 SF
3 - THIRD FLOOR			5,080 SF
TOTAL			23,364 SF
5 - GENERAL BUILDING HEIGHTS AND AREAS			
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BASE STORIES ALLOWED	TABLE 504.4	4 STORIES	3 STORIES
REQUIRED SEPARATION OF OCCUPANCIES	TABLE 508.4	1 HOUR	PROVIDED
TABULAR AREA	TABLE 506.2	48,000 SF	23,364 SF
6 - TYPE OF CONSTRUCTION			
TYPE OF CONSTRUCTION	TABLE 601		III-B
7 - FIRE AND SMOKE PROTECTION			
			SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS ARE REQUIRED IN ALL RESIDENTIAL UNITS
9 - FIRE PROTECTION SYSTEMS			
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FIRE ALARM AND DETECTION SYSTEMS	907	REQUIRED	PROVIDED
10 - MEANS OF EGRESS			
DOOR EGRESS WIDTH	1005.3.2	36" PER UNIT	PROVIDED
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NUMBER OF EXITS	TABLE 1006.3.1	2 ON MAIN LEVEL	PROVIDED
STAIR EGRESS WIDTH	1005.3.1	44"	PROVIDED
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OCCUPANCY	TABLE 1004.1.2	10,272 SF / 200	52 PEOPLE
TOTAL OCCUPANT LOAD			129 PEOPLE
15 - ROOF ASSEMBLY			
	1501.1		NEW 60 MIL WHITE TPO ROOF
27 - ELECTRICAL			
EMERGENCY LIGHTING	1008.1	WILL COMPLY	ON COMPLIANCE DRAWINGS
EMERGENCY POWER	1008.3.2, 1008.3.3	WILL COMPLY	ON COMPLIANCE DRAWINGS
EXIT SIGNS	1011.1	WILL COMPLY	ON COMPLIANCE DRAWINGS
28 - PLUMBING			
DRINKING FOUNTAIN REQUIREMENTS	TABLE 403.1	1 REQUIRED ON FIRST FLOOR	1 PROVIDED ON FIRST FLOOR
LAVATORY REQUIREMENTS	TABLE 403.1	1 MALE / 1 FEMALE ON FIRST FLOOR	PROVIDED
SERVICE SINK REQUIREMENTS	TABLE 403.1	1 REQUIRED ON FIRST FLOOR	1 PROVIDED ON FIRST FLOOR
WATER CLOSETS REQUIREMENTS	TABLE 403.1	2 MALE / 2 FEMALE ON FIRST FLOOR	PROVIDED



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SCALE
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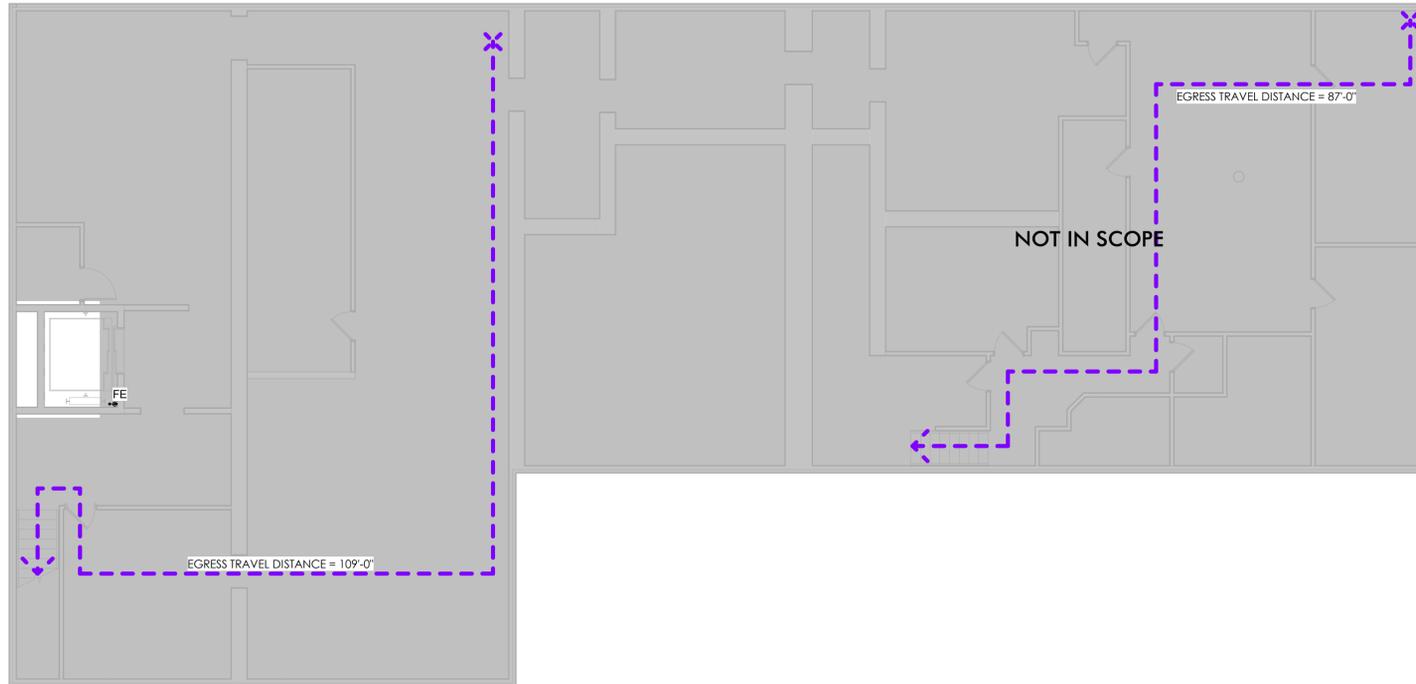
PROJECT NUMBER
2023.113

CODE COMPLIANCE - NEW

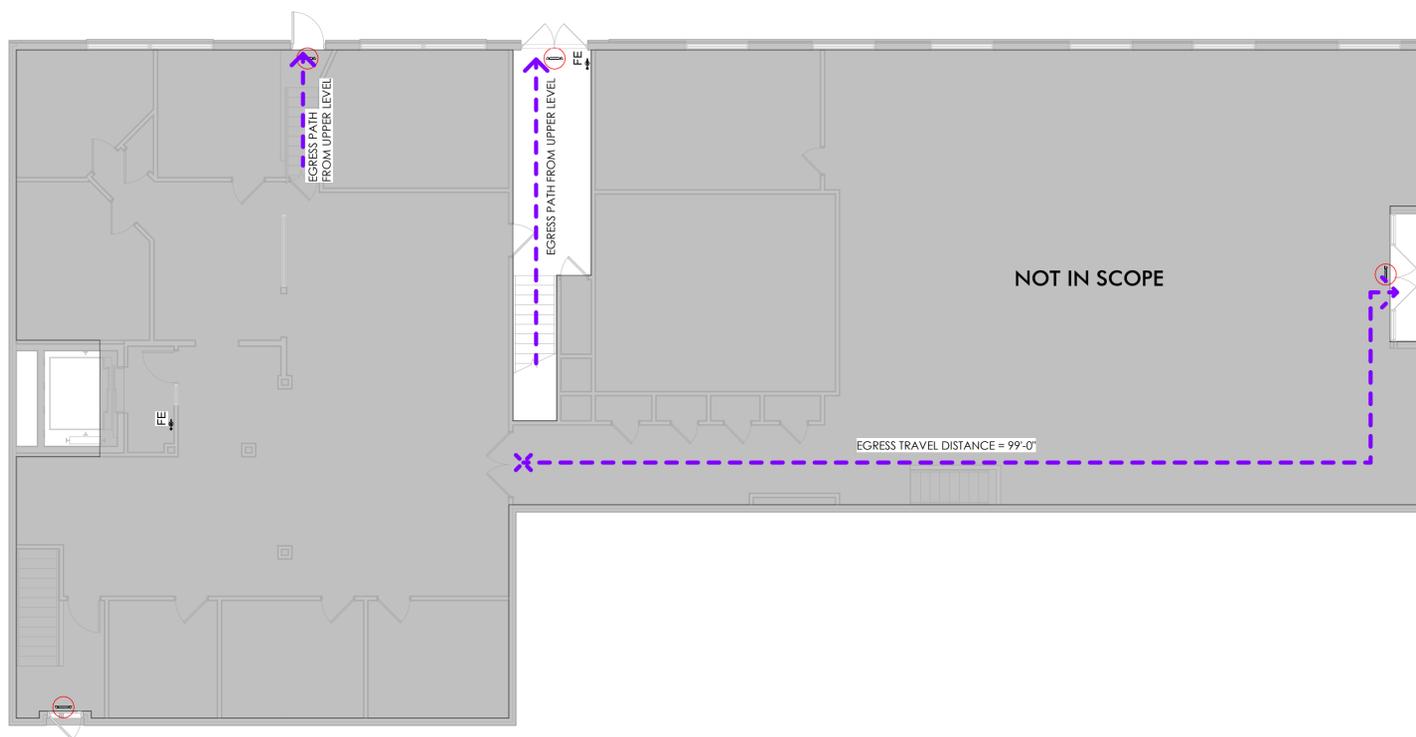
T005

CODE COMPLIANCE

TOPIC	SECTION	ALLOWED/REQUIRED	ACTUAL
APPLICABLE CODES			
2015 INTERNATIONAL FIRE CODE			
2015 MICHIGAN BUILDING CODE			
2015 MICHIGAN MECHANICAL CODE			
2015 MICHIGAN REHABILITATION CODE	504	LEVEL 2 ALTERATION	INTERIOR RENOVATION LESS THAN 50%
2017 NATIONAL ELECTRICAL CODE			
2018 MICHIGAN PLUMBING CODE			
ANSI/ASHRAE 90.1-2013			
ICC/ANSI 117.1-2009			
NFPA 13 (2013) + NFPA 72 (2013)			
ZONING			
	CITY OF OWOSSO		B-3 CENTRAL BUSINESS DISTRICT
1 - SCOPE AND ADMIN			
DEFERRED SUBMITTALS	107.3.4.1		THERE ARE NO DEFERRED SUBMITTALS FOR THIS PROJECT
DESIGN PROFESSIONAL IN CHARGE	107.3.4		CODY NEWMAN IS TO BE THE DESIGN PROFESSIONAL IN CHARGE
SPECIAL INSPECTIONS	110		THERE ARE NO SPECIAL INSPECTIONS FOR THIS PROJECT
3 - USE			
BUILDING USE	304.1 & 310.4	BEFORE - B (BUSINESS)	AFTER - B (BUSINESS) + R-2 (RESIDENTIAL)
3 - AREA BY USE			
BUSINESS			6,267 SF
RESIDENTIAL			10,272 SF
STORAGE			6,525 SF
3 - GROSS BUILDING AREA			
0 - BASEMENT			6,612 SF
1 - FIRST FLOOR			6,480 SF
2 - SECOND FLOOR			5,192 SF
3 - THIRD FLOOR			5,080 SF
TOTAL			23,364 SF
5 - GENERAL BUILDING HEIGHTS AND AREAS			
ALLOWABLE BUILDING HEIGHT	TABLE 504.3	55 FEET	46 FEET
BASE STORIES ALLOWED	TABLE 504.4	4 STORIES	3 STORIES
REQUIRED SEPARATION OF OCCUPANCIES	TABLE 508.4	1 HOUR	PROVIDED
TABULAR AREA	TABLE 506.2	48,000 SF	23,364 SF
6 - TYPE OF CONSTRUCTION			
TYPE OF CONSTRUCTION	TABLE 601		III-B
7 - FIRE AND SMOKE PROTECTION			
			SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS ARE REQUIRED IN ALL RESIDENTIAL UNITS
9 - FIRE PROTECTION SYSTEMS			
AUTOMATIC SPRINKLER SYSTEM	903.2.1.3	REQUIRED	PROVIDED
FIRE ALARM AND DETECTION SYSTEMS	907	REQUIRED	PROVIDED
10 - MEANS OF EGRESS			
DOOR EGRESS WIDTH	1005.3.2	36" PER UNIT	PROVIDED
EXIT ACCESS TRAVEL DISTANCE	TABLE 1017.2	250 FEET	210 FEET
NUMBER OF EXITS	TABLE 1006.3.1	2 ON MAIN LEVEL	PROVIDED
STAIR EGRESS WIDTH	1005.3.1	44"	PROVIDED
10 - OCCUPANCY			
OCCUPANCY	TABLE 1004.1.2	6,267 SF / 100	63 PEOPLE
OCCUPANCY	TABLE 1004.1.2	6,525 SF / 500	14 PEOPLE
OCCUPANCY	TABLE 1004.1.2	10,272 SF / 200	52 PEOPLE
TOTAL OCCUPANT LOAD			129 PEOPLE
15 - ROOF ASSEMBLY			
	1501.1		NEW 60 MIL WHITE TPO ROOF
27 - ELECTRICAL			
EMERGENCY LIGHTING	1008.1	WILL COMPLY	ON COMPLIANCE DRAWINGS
EMERGENCY POWER	1008.3.2, 1008.3.3	WILL COMPLY	ON COMPLIANCE DRAWINGS
EXIT SIGNS	1011.1	WILL COMPLY	ON COMPLIANCE DRAWINGS
28 - PLUMBING			
DRINKING FOUNTAIN REQUIREMENTS	TABLE 403.1	1 REQUIRED ON FIRST FLOOR	1 PROVIDED ON FIRST FLOOR
LAVATORY REQUIREMENTS	TABLE 403.1	1 MALE / 1 FEMALE ON FIRST FLOOR	PROVIDED
SERVICE SINK REQUIREMENTS	TABLE 403.1	1 REQUIRED ON FIRST FLOOR	1 PROVIDED ON FIRST FLOOR
WATER CLOSETS REQUIREMENTS	TABLE 403.1	2 MALE / 2 FEMALE ON FIRST FLOOR	PROVIDED



0 BASEMENT COMPLIANCE PLAN
 1/8" = 1'-0"



1 FIRST FLOOR COMPLIANCE PLAN
 1/8" = 1'-0"

COMPLIANCE LEGEND

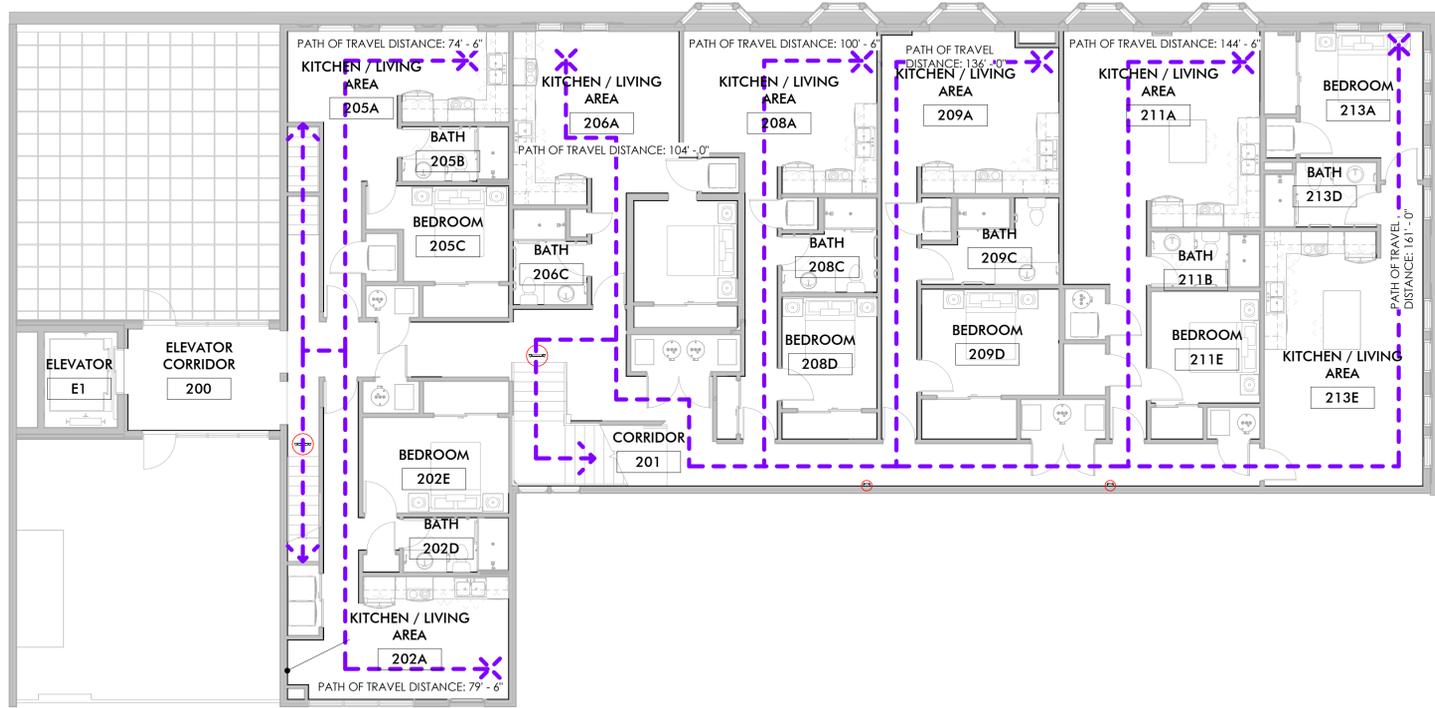
SYMBOL	ITEM
	FIRE EXTINGUISHER
	EXIT SIGN W/ EGRESS LIGHTS
	EGRESS LIGHTING
	TRAVEL DISTANCE
	1 HOUR WALL
	2 HOUR WALL
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR

CODE COMPLIANCE GENERAL NOTES

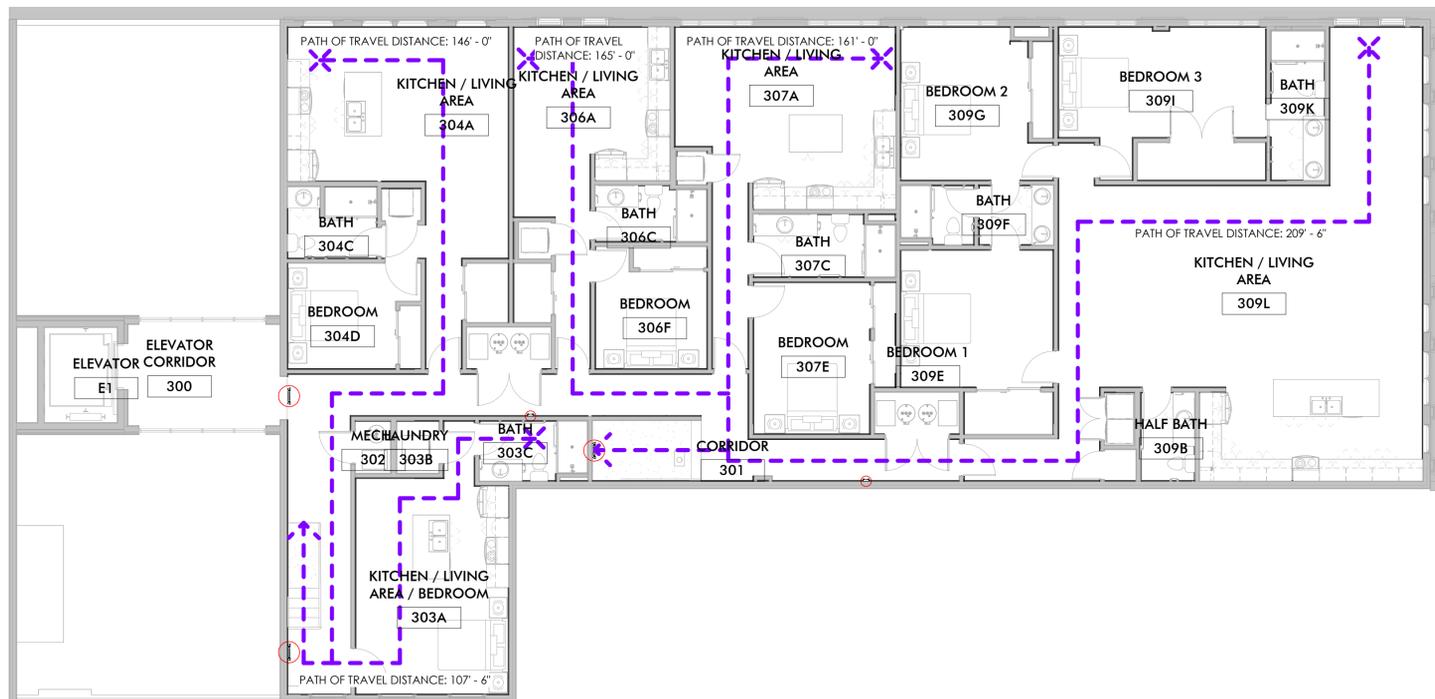
- ENSURE EXIT SIGNS ARE MOUNTED ABOVE THE DOORS AND VISIBLE FROM 75 FEET AWAY. ALL EGRESS LIGHTING IS TO POINT DOWN TO ILLUMINATE THE EGRESS PATH OF TRAVEL.
- ALL FIRE EXTINGUISHERS ARE TO BE ABC EXTINGUISHERS, UNLESS NOTED OTHERWISE. ALL EXTINGUISHERS ARE TO BE TAGGED WITH THE CURRENT YEAR'S INSPECTION ON IT. ANNUAL INSPECTIONS ARE TO OCCUR FOR ALL FIRE EXTINGUISHERS.
- PROVIDE ADA RESTROOM SIGNS AT ALL RESTROOMS, CORRESPONDING TO THE CORRECT SEX.
- SEE T002 FOR MOUNTING HEIGHTS AND LOCATIONS
- SEE T003 FOR ADDITIONAL CODE COMPLIANCE INFORMATION
- FURNITURE AND EQUIPMENT SHOWN ON COMPLIANCE DRAWINGS ARE FOR REFERENCE ONLY

CODE COMPLIANCE

TOPIC	SECTION	ALLOWED/REQUIRED	ACTUAL
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			PROVIDED



2 SECOND FLOOR COMPLIANCE PLAN
1007 1/8" = 1'-0"



3 THIRD FLOOR COMPLIANCE PLAN
1007 1/8" = 1'-0"

COMPLIANCE LEGEND

- SYMBOL ITEM
- FE FIRE EXTINGUISHER
- EXIT SIGN W/ EGRESS LIGHTS
- EGRESS LIGHTING
- TRAVEL DISTANCE
- 1 HOUR WALL
- 2 HOUR WALL
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR

CODE COMPLIANCE GENERAL NOTES

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 Owosso, MI

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 First Contracting
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ENGINEER
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 38 Commerce St.
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PROJECT ADDRESS
123 N. WASHINGTON STREET, OWOSSO MI
CLIENT
RANDY AND JAMES WOODWORTH

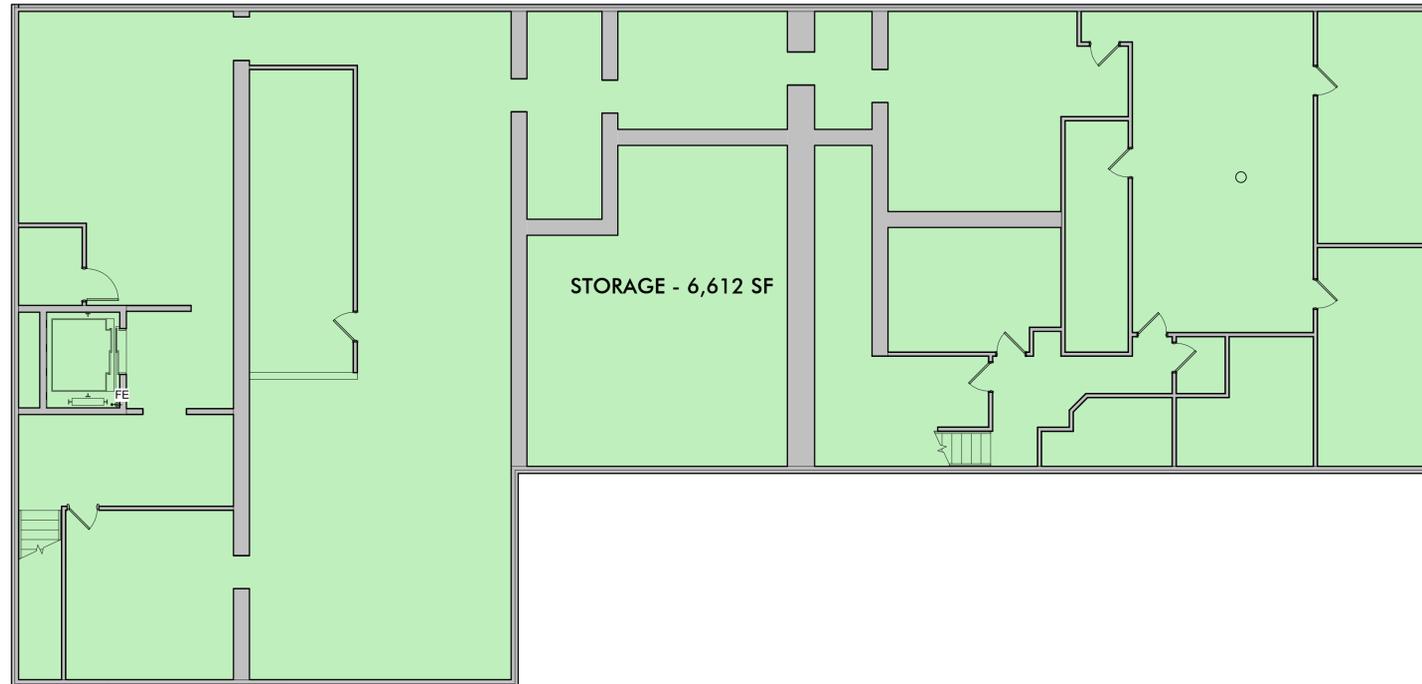
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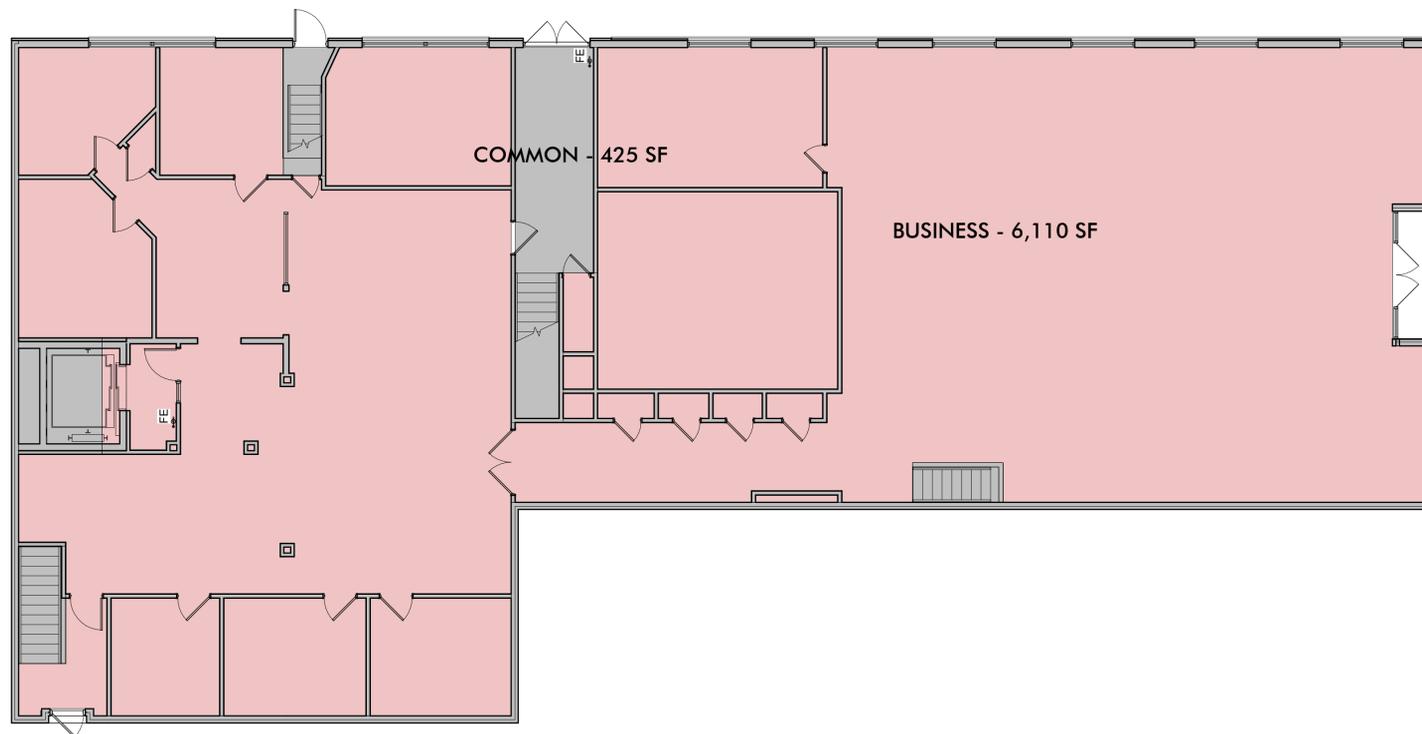
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PROJECT NUMBER
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AREA PLANS
T008



0 BASEMENT PROPOSED PLAN
 1/8" = 1'-0"



1 FIRST FLOOR PROPOSED PLAN
 1/8" = 1'-0"

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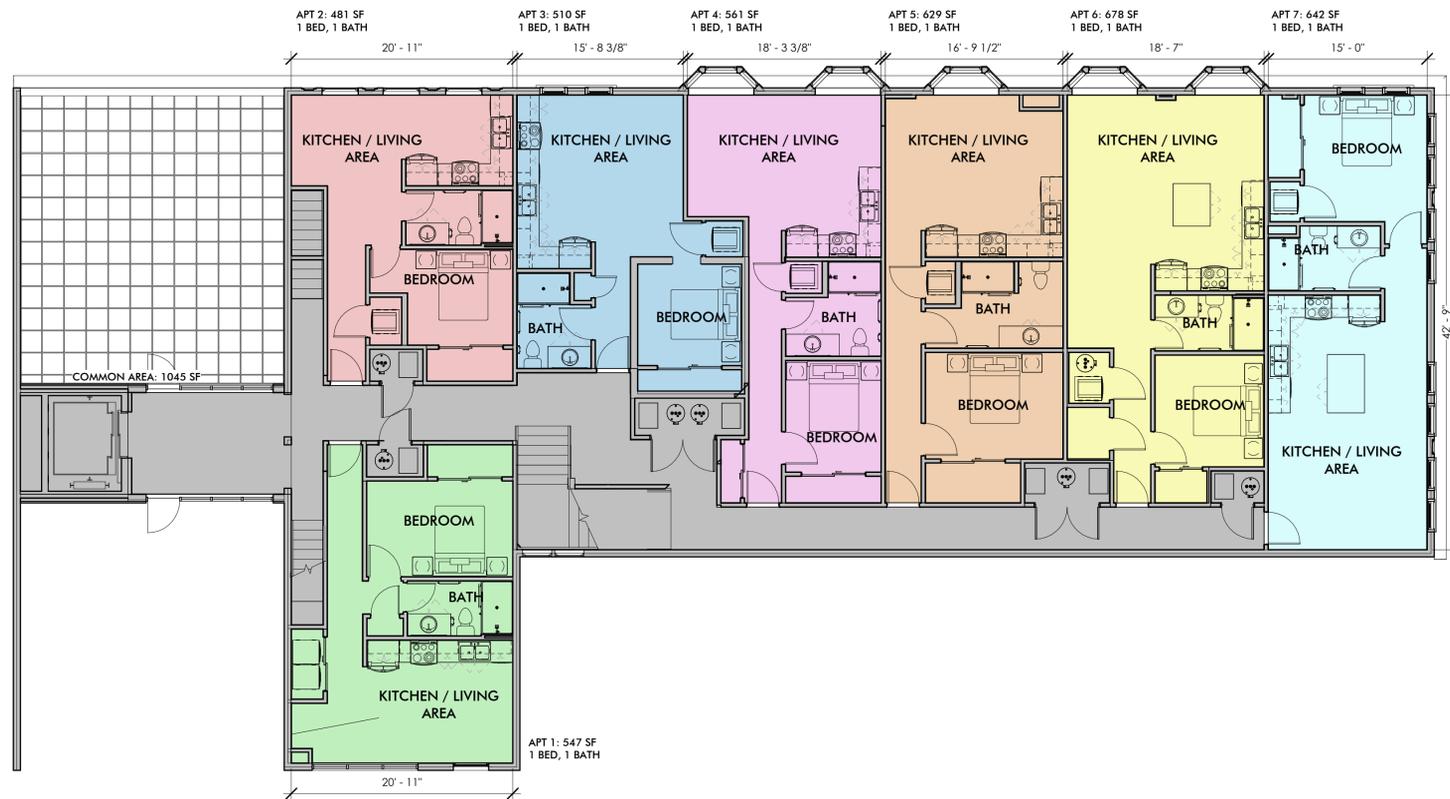
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2023.113

AREA PLANS
T009



2 SECOND FLOOR PLAN
 1/8" = 1'-0"



3 THIRD FLOOR
 1/8" = 1'-0"



GENERAL NOTES

1. EXISTING BUILDING TO REMAIN ON THE EXISTING SITE
2. THE UTILITIES THAT ARE CURRENTLY CONNECTED TO THE BUILDING ARE TO REMAIN
3. CONTACT MISS DIG TO LOCATE ALL EXISTING UTILITIES BEFORE DOING ANY SITE WORK
4. PATCH EXISTING ASPHALT AND SIDEWALK AREAS AS REQUIRED AFTER UTILITY CONNECTIONS
5. PROVIDE A KNOX BOX AT THE MAIN ENTRY TO THE BUILDING. COORDINATE WITH LOCAL FIRE DEPARTMENT ON KEYING AND INSTALLATION
6. WORK WITHIN THE STREET TO BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE AGENCIES HAVING JURISDICTION.
7. PERMITS, TESTING, BONDS & INSURANCES ETC., SHALL BE PAID FOR BY THE CONTRACTOR. CITY INSPECTION FEES SHALL BE PAID FOR BY THE OWNER.

PARKING REQUIREMENTS

THERE ARE NO PARKING REQUIREMENTS IN THE B-3 BUSINESS DISTRICT. ALL PARKING IS TO TAKE PLACE ON THE STREET OR IN NEARBY PUBLIC LOTS.

LANDSCAPE REQUIREMENTS

THERE ARE NO LANDSCAPE REQUIREMENTS IN THE B-3 BUSINESS DISTRICT.

LEGAL DESCRIPTION

W 44' OF LOT 3 & THE N 44' OF THE E 88' OF LOT 3 BLK 22 ORIGINAL PLAT

ZONING MAP

ZONING - B-3 CENTRAL BUSINESS DISTRICT



AREA MAP



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PROJECT NUMBER
2023.113

ARCHITECTURAL SITE PLAN

C100

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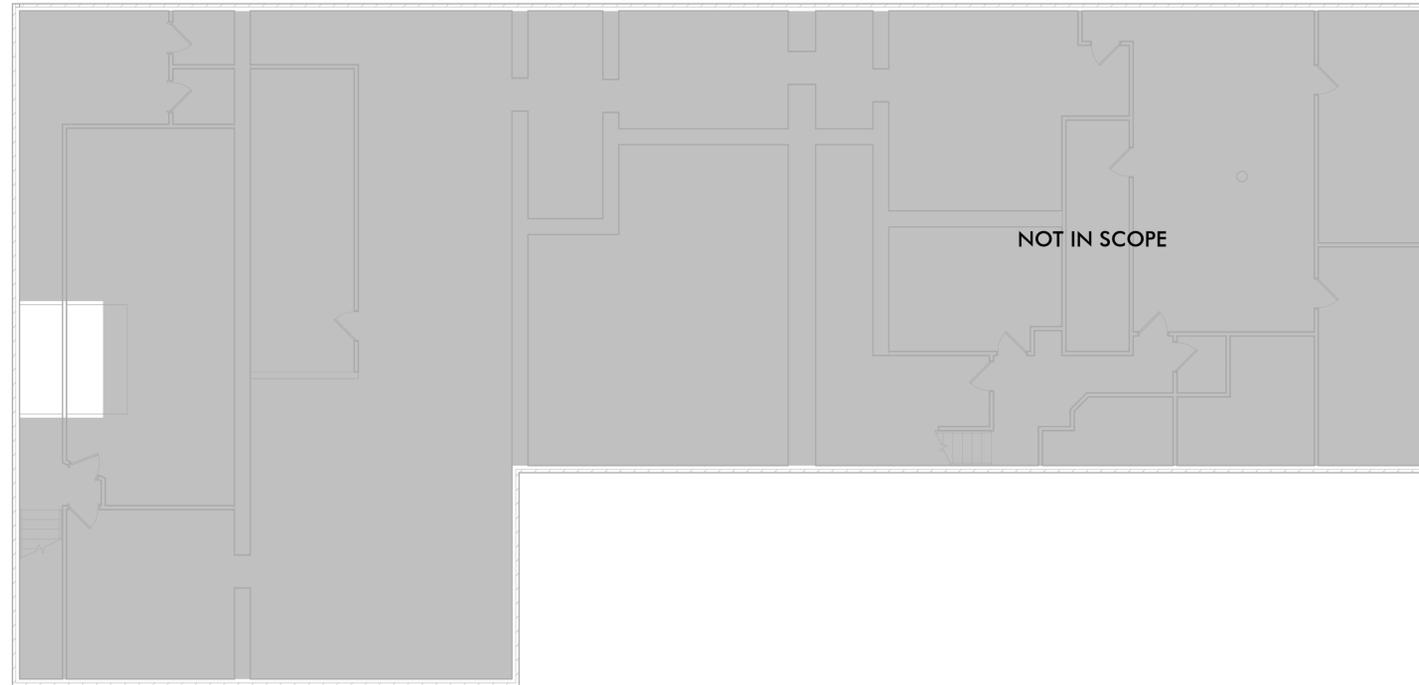
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EXISTING FLOOR PLANS

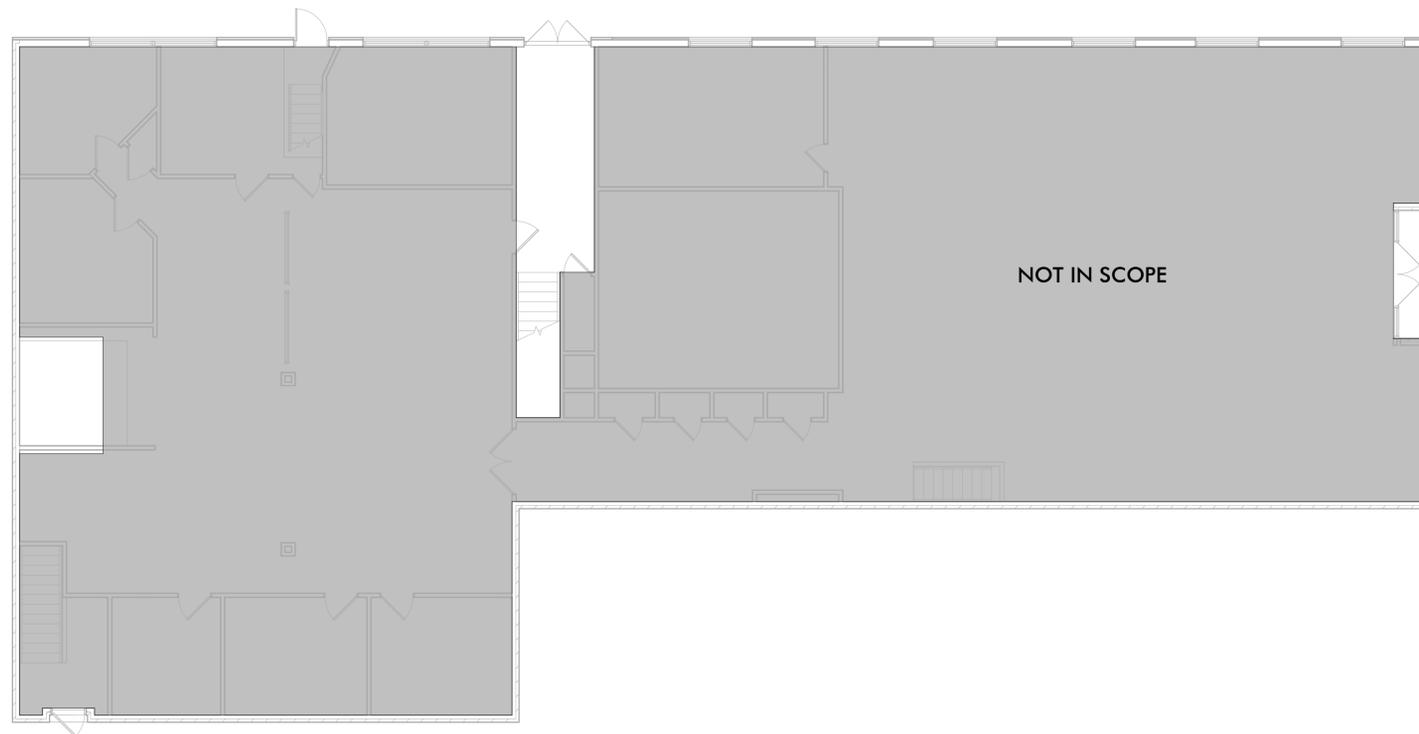
A000

GENERAL NOTES

EXISTING PLANS AND DIMENSIONS ARE SHOWN FOR REFERENCE ONLY



0 BASEMENT EXISTING PLAN
 A000 1/8" = 1'-0"



1 FIRST FLOOR EXISTING PLAN
 A000 1/8" = 1'-0"

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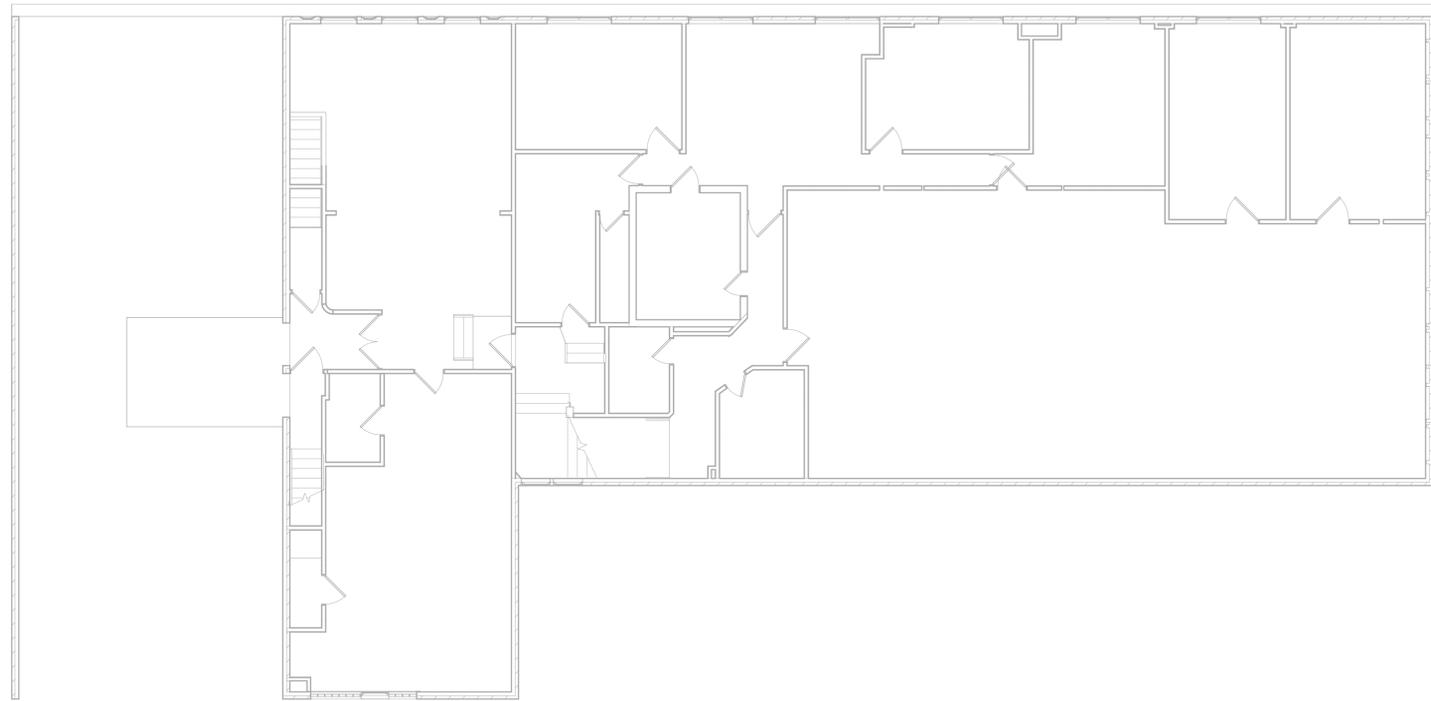
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EXISTING FLOOR PLANS

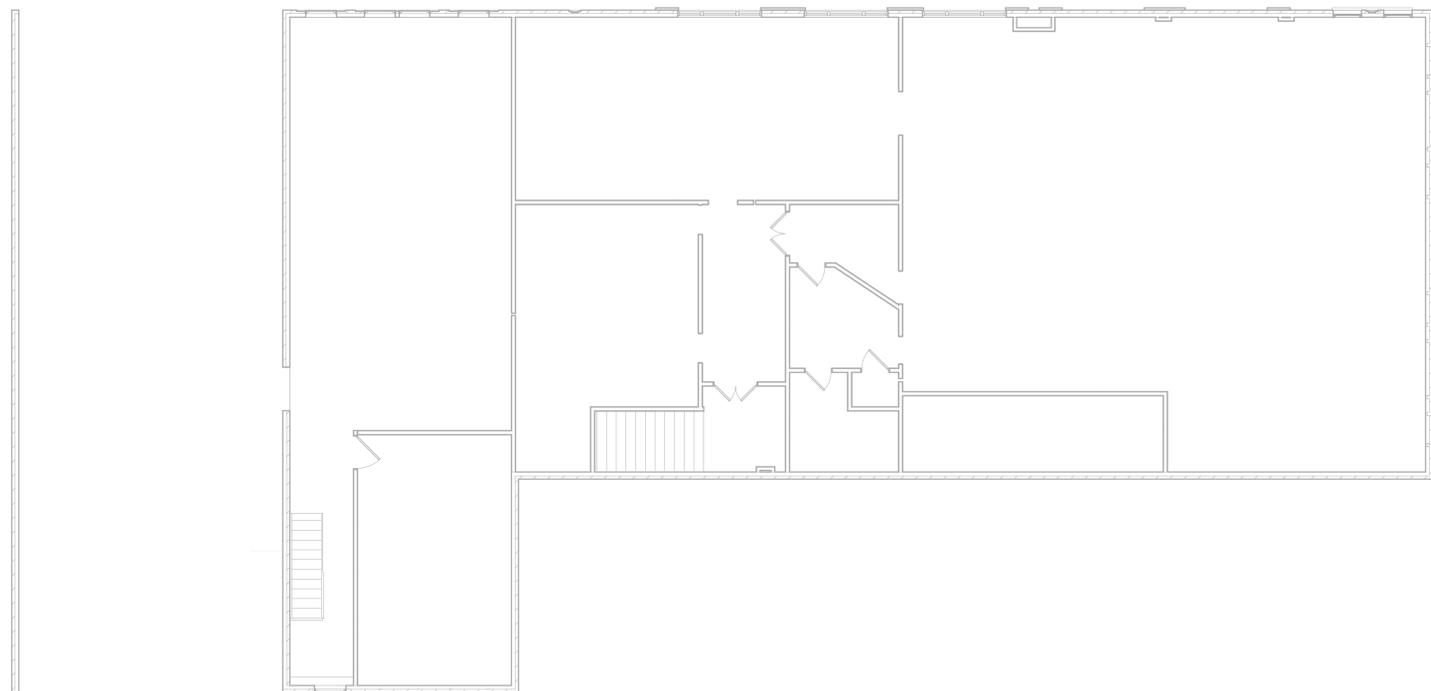
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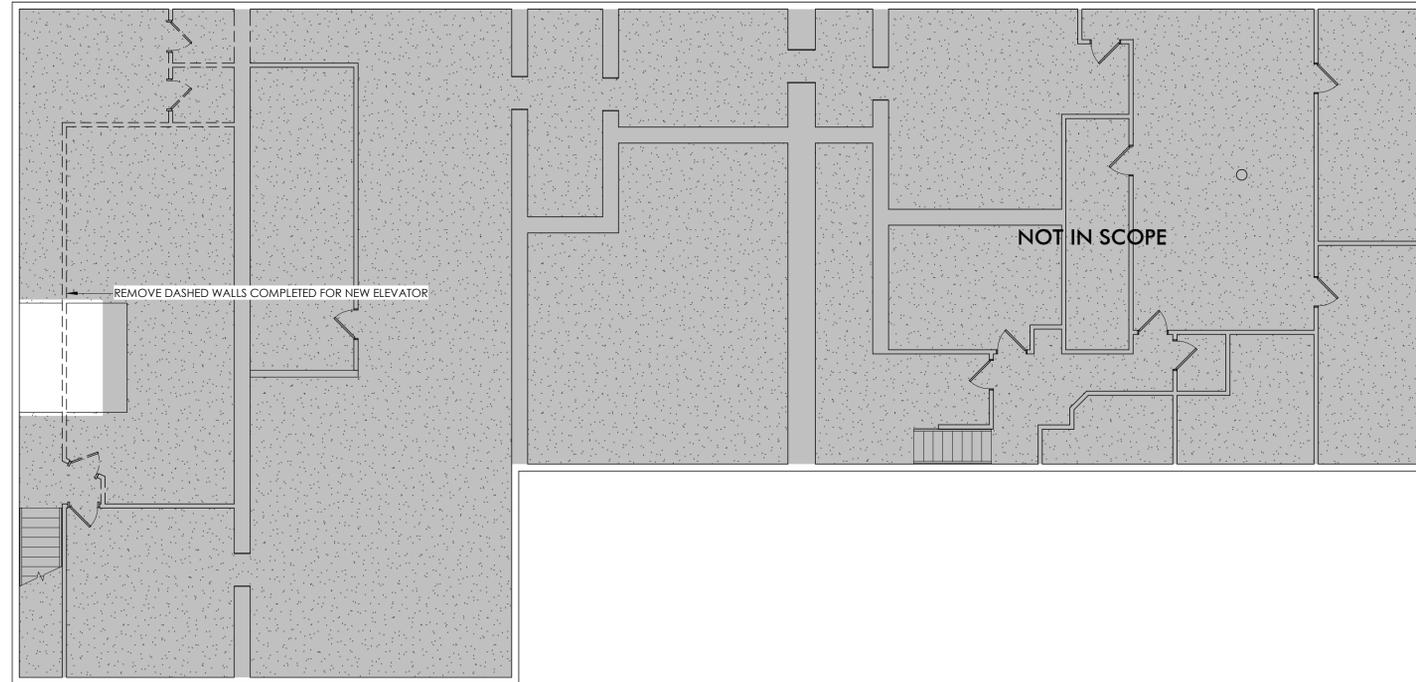
1 SECOND FLOOR EXISTING PLAN
 A001 1/8" = 1'-0"



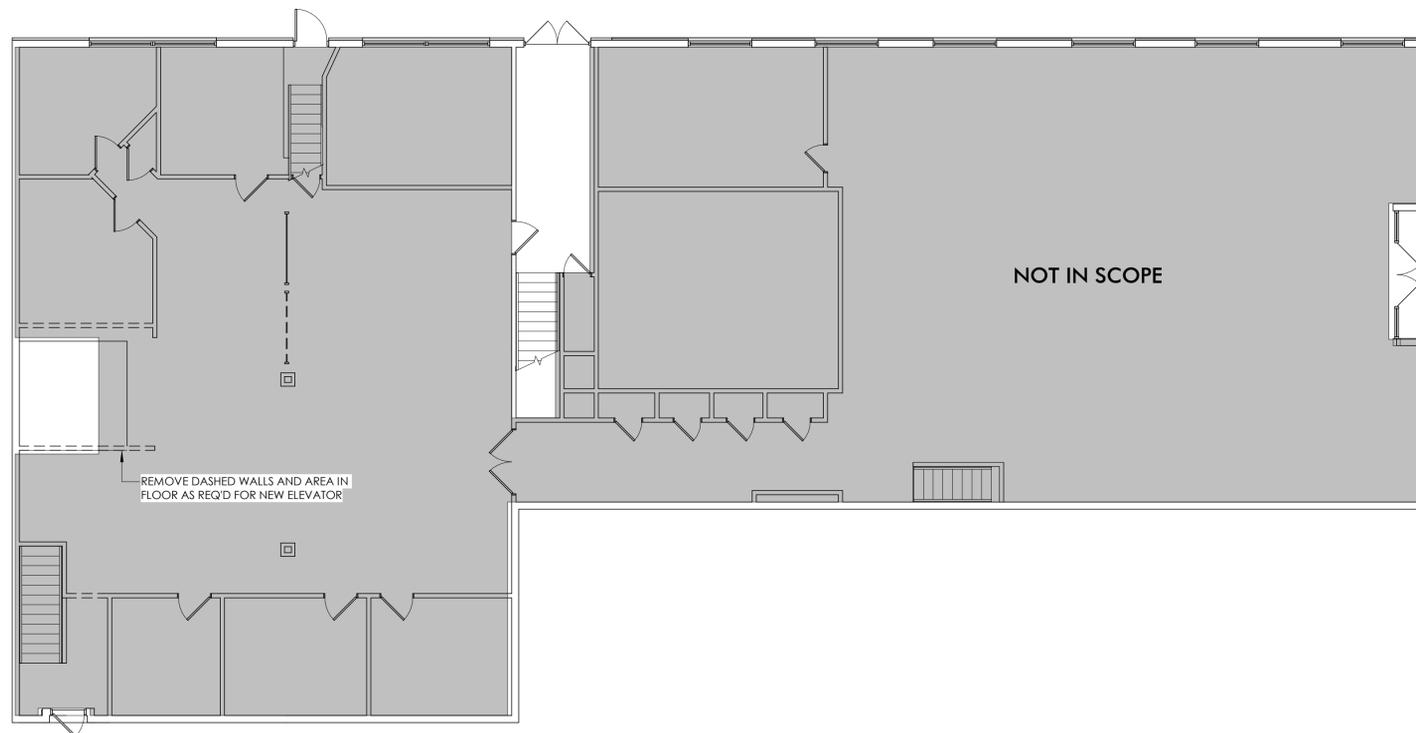
2 THIRD FLOOR EXISTING PLAN
 A001 1/8" = 1'-0"

DEMOLITION NOTES

- REMOVE ALL DASHED WALLS, WINDOWS, AND DOORS COMPLETELY.
- OWNER TO REMOVE ALL FURNISHINGS/ EQUIPMENT THAT THEY WISH TO RETAIN FROM THE AREAS OF DEMOLITION/ CONSTRUCTION PRIOR TO THE START OF CONSTRUCTION WORK IN EACH AREA. OWNER TO COORDINATE WITH CONTRACTOR REGARDING THE TIME SCHEDULE FOR THIS TO BE COMPLETED.
- PATCH AND FILL ANY HOLES IN THE WALL CAUSED BY THE REMOVAL OF DOORS, WINDOWS, OR WALLS TO MATCH SURROUNDINGS.
- CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL SURFACES NOT BEING REMODELED IN THE PROJECT AND IN THE PATH OF THE CONTRACTORS TRAVEL, SETUP AND/ OR PROJECT MATERIAL STORAGE. THE CONTRACTOR MUST RETURN THE AREAS DISTURBED AS REQUIRED FOR ACCESS TO ITS PRE-EXISTING CONDITION.
- ANY HAZARDOUS MATERIALS ARE TO BE REMOVED BY A LICENSED PROFESSIONAL IN THE STATE OF MICHIGAN.
- ALL SAFETY ISSUES RELATED TO DEMOLITION ARE THE RESPONSIBILITY OF THE CONTRACTOR AND MUST COMPLY WITH ALL STATE, LOCAL, ENVIRONMENTAL AND LABOR LAWS DURING THE CONSTRUCTION OF THIS PROJECT.
- SEQUENCE DEMOLITION WITH STRUCTURAL WORK TO ASSURE SAFETY. PROVIDE SHORING AS REQ'D TO ENSURE SAFE CONDITIONS EXIST. SHORING IS NOT SHOWN ON PLANS. STRUCTURAL ELEMENTS ARE TO REMAIN, UNLESS NOTED OTHERWISE. COORDINATE WITH ARCHITECTURAL AND STRUCTURAL DRAWINGS.
- ALL TRADES TO COORDINATE BETWEEN ONE ANOTHER TO AVOID CONFLICTS.
- NOTATIONS ARE MADE IN VARIOUS PLACES ON THE DRAWINGS TO CALL ATTENTION TO DEMOLITION WHICH IS REQUIRED. THESE DRAWINGS ARE NOT INTENDED TO SHOW EACH AND EVERY ITEM TO BE REMOVED. CONTRACTOR SHALL REMOVE ALL MATERIALS RELATED TO THEIR RESPECTIVE TRADES AS REQUIRED TO PERMIT THE CONSTRUCTION OF THE NEW WORK AS SHOWN.
- THE CONTRACTOR SHOULD TAKE CARE DURING THE PROJECT TO NOT INTERRUPT THE USE IN AREAS NOT IN SCOPE.
- PRIOR TO ANY DIGGING ON OR AROUND THE SITE UTILITIES ARE TO BE LOCATED USING MISS DIG.
- ALL RUBBISH AND DEBRIS FROM DEMOLITION IS TO BE REMOVED IMMEDIATELY FROM THE SITE AFTER DEMOLITION. COORDINATE ALL DEMOLITION, DUMPSTER LOCATIONS, BARRICADING, PEDESTRIAN PROTECTION MEASURES, ETC. WITH THE OWNER AND LOCAL MUNICIPALITY PRIOR TO COMMENCEMENT.
- REMOVE ALL LIGHTING, WIRING, FIRE ALARM DEVICES, RECEPTACLES, AND SPEAKERS FROM WALLS AND CEILINGS BEING REMOVED. COORDINATE WITH ARCHITECT AS REQUIRED. REMOVE ALL ABANDONED EXPOSED CONDUIT AND WIRING BACK TO SOURCE. REMOVE WIRING BACK TO PANEL OR NEAREST JUNCTION BOX. RE-LABEL CIRCUIT BREAKER AS SPARE. IN SCOPE OF WORK.
- PROVIDE BLANK COVERPLATE OVER EMPTY OUTLET BOXES IF DEVICE IS REMOVED AND NOT REPLACED.
- REMOVE ALL EXISTING HVAC, FIRE PROTECTION AND PLUMBING EQUIPMENT, PIPING BACK TO MAIN AND ALL ASSOCIATED ACCESSORIES. SANITARY, STORM, AND VENT STACKS TO REMAIN. CAP ANY UNUSED AREAS.
- SALVAGE MATERIALS AS REQUIRED IF PART OF THE SCOPE IS MATCHING MATERIALS OR INFILL MATERIALS AS PART OF A RENOVATION PROJECT.
- REMOVE ALL CEILINGS AND FLOOR FINISHES IN AREAS OF DEMOLITION U.N.O.
- ALL EXISTING COLUMNS AND STRUCTURAL ELEMENTS TO REMAIN. ANY DISCREPANCIES THAT OCCUR IN THE FIELD DURING DEMOLITION SHOULD BE BROUGHT TO THE ARCHITECTS ATTENTION.
- THE CONTRACTOR SHALL MAINTAIN THE JOB SITE TO BROOM CLEAN AT ALL TIMES.
- THE OWNER WILL MAINTAIN OCCUPANCY OF SPACES ADJACENT TO AREAS OF DEMOLITION. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL POTENTIALLY DISRUPTIVE ACTIVITIES WITH THE OWNER.



0 BASEMENT DEMOLITION PLAN
A110 1/8" = 1'-0"



1 FIRST FLOOR DEMOLITION PLAN
A110 1/8" = 1'-0"

STEEL LINTEL SCHEDULE				Fy=36 KSI
MARK	CLEAR SPAN	SIZE	BEARING EACH END	
L1	4'-0"	L3 1/2x2 1/2x1/4 SLV	4"	
L2	5'-0"	L3 1/2x3x1/4 SLV	6"	
L3	6'-0"	L3 1/2x3 1/2x1/4	6"	
L4	7'-0"	L4x3 1/2x1/4 LLV	6"	
L5	8'-0"	L5x3 1/2x1/4 LLV	8"	
L6	9'-0"	L6x3 1/2x 3/8 LLV	8"	

L7	W8x18 + PL 1/4x1'-3 1/2"	8"	
L8	W8x18 + PL 1/4x7 1/2"	8"	

- GROUT BELOW BEAM BEARING PER DETAILS.
- BEARING LENGTH IS OVER CMU OR COMPOSITE BRICK / BLOCK. DO NOT BEAR ON BRICK VENEER.
- ANCHOR MASONRY TO BEAMS W/ 9 GA WIRE TIES EACH SIDE AT 2'-8" O.C.
- PROVIDE STEEL LINTELS AT ALL MASONRY WALL OPENINGS, INCLUDING MECHANICAL AND ELECTRICAL GREATER THAN 8" WIDE. SEE LINTEL SCHEDULE.

NOTE: GROUT BELOW LINTEL BEARING 3 COURSES

WALL LEGEND

	EXISTING WALL TO REMAIN		CMU
	ELEMENTS TO BE REMOVED		CONCRETE
	1 HOUR PARTITION		WOOD BLOCKING
	2 HOUR PARTITION		STEEL (LARGE SCALE)
	EXTENT OF WORK		PLASTER
			RIGID INSULATION
			PLYWOOD
			MILLWORK

MATERIAL LEGEND

DEMOLITION NOTES

- REMOVE ALL DASHED WALLS, WINDOWS, AND DOORS COMPLETELY.
- OWNER TO REMOVE ALL FURNISHINGS/ EQUIPMENT THAT THEY WISH TO RETAIN FROM THE AREAS OF DEMOLITION/ CONSTRUCTION PRIOR TO THE START OF CONSTRUCTION WORK IN EACH AREA. OWNER TO COORDINATE WITH CONTRACTOR REGARDING THE TIME SCHEDULE FOR THIS TO BE COMPLETED.
- PATCH AND FILL ANY HOLES IN THE WALL CAUSED BY THE REMOVAL OF DOORS, WINDOWS, OR WALLS TO MATCH SURROUNDINGS.
- CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL SURFACES NOT BEING REMODELED IN THE PROJECT AND IN THE PATH OF THE CONTRACTORS TRAVEL, SETUP AND/ OR PROJECT MATERIAL STORAGE. THE CONTRACTOR MUST RETURN THE AREAS DISTURBED AS REQUIRED FOR ACCESS TO ITS PRE-EXISTING CONDITION.
- ANY HAZARDOUS MATERIALS ARE TO BE REMOVED BY A LICENSED PROFESSIONAL IN THE STATE OF MICHIGAN.
- ALL SAFETY ISSUES RELATED TO DEMOLITION ARE THE RESPONSIBILITY OF THE CONTRACTOR AND MUST COMPLY WITH ALL STATE, LOCAL, ENVIRONMENTAL AND LABOR LAWS DURING THE CONSTRUCTION OF THIS PROJECT.
- SEQUENCE DEMOLITION WITH STRUCTURAL WORK TO ASSURE SAFETY. PROVIDE SHORING AS REQ'D TO ENSURE SAFE CONDITIONS EXIST. SHORING IS NOT SHOWN ON PLANS. STRUCTURAL ELEMENTS ARE TO REMAIN, UNLESS NOTED OTHERWISE. COORDINATE WITH ARCHITECTURAL AND STRUCTURAL DRAWINGS.
- ALL TRADES TO COORDINATE BETWEEN ONE ANOTHER TO AVOID CONFLICTS.
- NOTATIONS ARE MADE IN VARIOUS PLACES ON THE DRAWINGS TO CALL ATTENTION TO DEMOLITION WHICH IS REQUIRED. THESE DRAWINGS ARE NOT INTENDED TO SHOW EACH AND EVERY ITEM TO BE REMOVED. CONTRACTOR SHALL REMOVE ALL MATERIALS RELATED TO THEIR RESPECTIVE TRADES AS REQUIRED TO PERMIT THE CONSTRUCTION OF THE NEW WORK AS SHOWN.
- THE CONTRACTOR SHOULD TAKE CARE DURING THE PROJECT TO NOT INTERRUPT THE USE IN AREAS NOT IN SCOPE.
- PRIOR TO ANY DIGGING ON OR AROUND THE SITE UTILITIES ARE TO BE LOCATED USING MISS DIG.
- ALL RUBBISH AND DEBRIS FROM DEMOLITION IS TO BE REMOVED IMMEDIATELY FROM THE SITE AFTER DEMOLITION. COORDINATE ALL DEMOLITION, DUMPSTER LOCATIONS, BARRICADING, PEDESTRIAN PROTECTION MEASURES, ETC. WITH THE OWNER AND LOCAL MUNICIPALITY PRIOR TO COMMENCEMENT.
- REMOVE ALL LIGHTING, WIRING, FIRE ALARM DEVICES, RECEPTACLES, AND SPEAKERS FROM WALLS AND CEILINGS BEING REMOVED. COORDINATE WITH ARCHITECT AS REQUIRED. REMOVE ALL ABANDONED EXPOSED CONDUIT AND WIRING BACK TO SOURCE. REMOVE WIRING BACK TO PANEL OR NEAREST JUNCTION BOX. RE-LABEL CIRCUIT BREAKER AS SPARE. IN SCOPE OF WORK.
- PROVIDE BLANK COVERPLATE OVER EMPTY OUTLET BOXES IF DEVICE IS REMOVED AND NOT REPLACED.
- REMOVE ALL EXISTING HVAC, FIRE PROTECTION AND PLUMBING EQUIPMENT, PIPING BACK TO MAIN AND ALL ASSOCIATED ACCESSORIES. SANITARY, STORM, AND VENT STACKS TO REMAIN. CAP ANY UNUSED AREAS.
- SALVAGE MATERIALS AS REQUIRED IF PART OF THE SCOPE IS MATCHING MATERIALS OR INFILL MATERIALS AS PART OF A RENOVATION PROJECT.
- REMOVE ALL CEILINGS AND FLOOR FINISHES IN AREAS OF DEMOLITION U.N.O.
- ALL EXISTING COLUMNS AND STRUCTURAL ELEMENTS TO REMAIN. ANY DISCREPANCIES THAT OCCUR IN THE FIELD DURING DEMOLITION SHOULD BE BROUGHT TO THE ARCHITECTS ATTENTION.
- THE CONTRACTOR SHALL MAINTAIN THE JOB SITE TO BROOM CLEAN AT ALL TIMES.
- THE OWNER WILL MAINTAIN OCCUPANCY OF SPACES ADJACENT TO AREAS OF DEMOLITION. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL POTENTIALLY DISRUPTIVE ACTIVITIES WITH THE OWNER.

STEEL LINTEL SCHEDULE			
F _y =36 KSI			
MARK	CLEAR SPAN	SIZE	BEARING EACH END
L1	4'-0"	L3 1/2x2 1/2x1/4 SLV	4"
L2	5'-0"	L3 1/2x3x1/4 SLV	6"
L3	6'-0"	L3 1/2x3 1/2x1/4	6"
L4	7'-0"	L4x3 1/2x1/4 LLV	6"
L5	8'-0"	L5x3 1/2x1/4 LLV	8"
L6	9'-0"	L6x3 1/2x 3/8 LLV	8"

L7	W8x18 + PL 1/4x1'-3 1/2"	8"
L8	W8x18 + PL 1/4x7 1/2"	8"

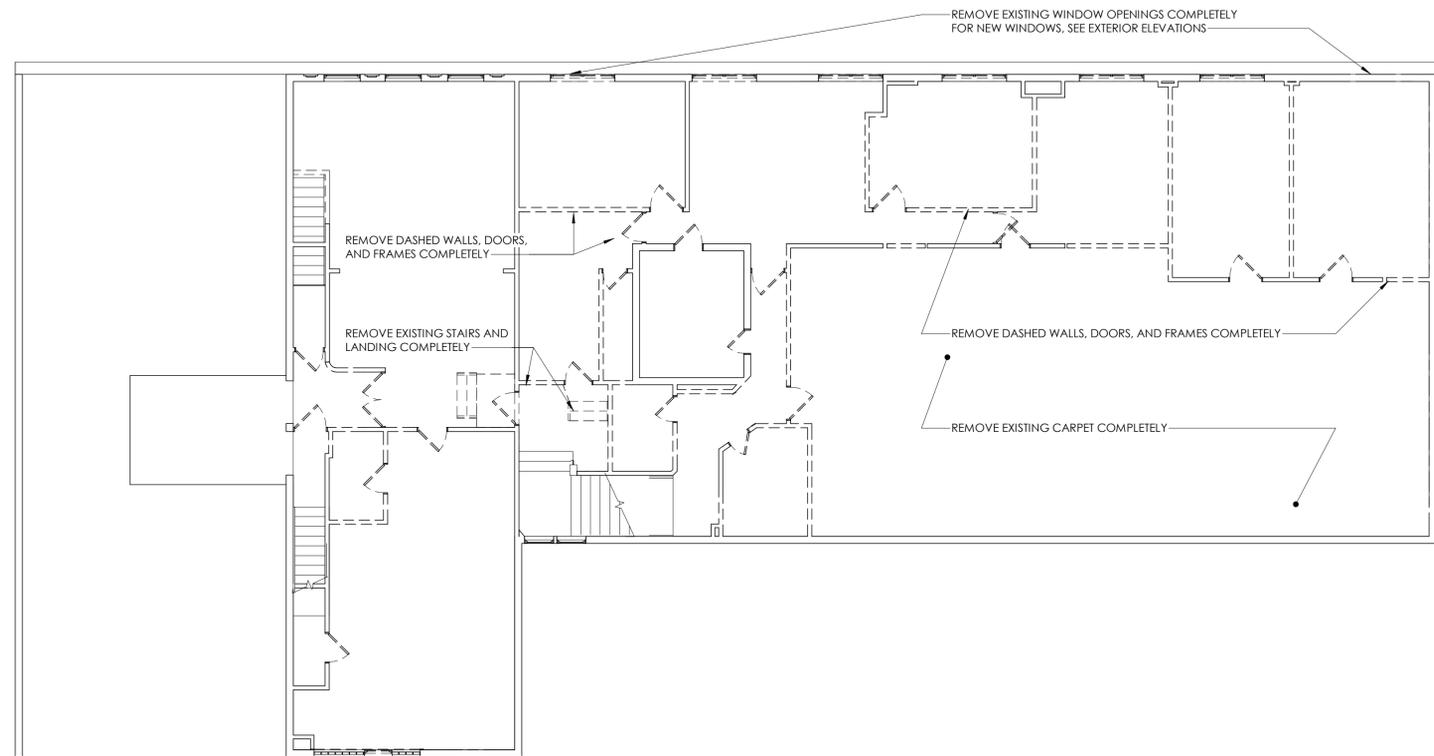
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 - PROVIDE STEEL LINTELS AT ALL MASONRY WALL OPENINGS, INCLUDING MECHANICAL AND ELECTRICAL GREATER THAN 8" WIDE. SEE LINTEL SCHEDULE.
- NOTE: GROUT BELOW LINTEL BEARING 3 COURSES

WALL LEGEND

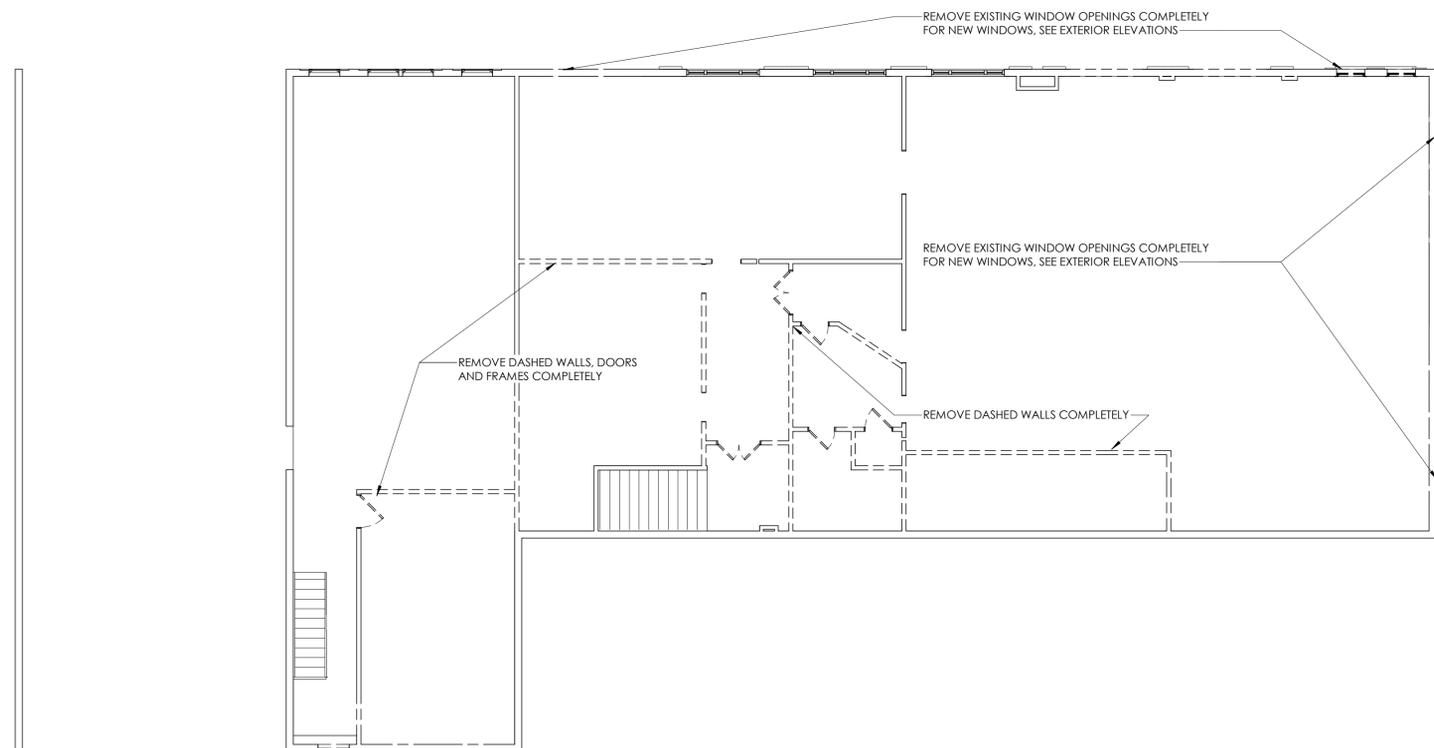
- EXISTING WALL TO REMAIN
- ELEMENTS TO BE REMOVED
- 1 HOUR PARTITION
- 2 HOUR PARTITION
- EXTENT OF WORK

MATERIAL LEGEND

- CMU
- CONCRETE
- WOOD BLOCKING
- STEEL (LARGE SCALE)
- PLASTER
- RIGID INSULATION
- PLYWOOD
- MILLWORK



1 SECOND FLOOR DEMOLITION PLAN
 1/8" = 1'-0"



2 THIRD FLOOR DEMOLITION PLAN
 1/8" = 1'-0"

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RANDY AND JAMES WOODWORTH

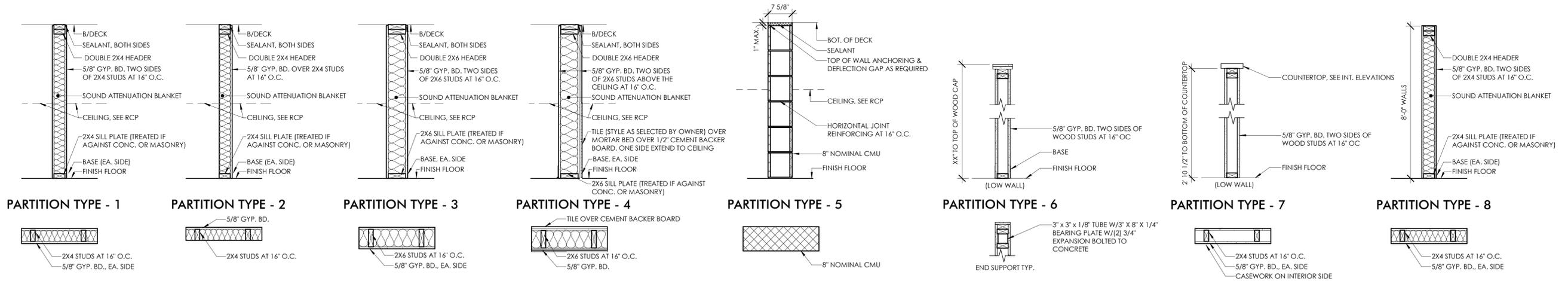
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PARTITION TYPES
A120



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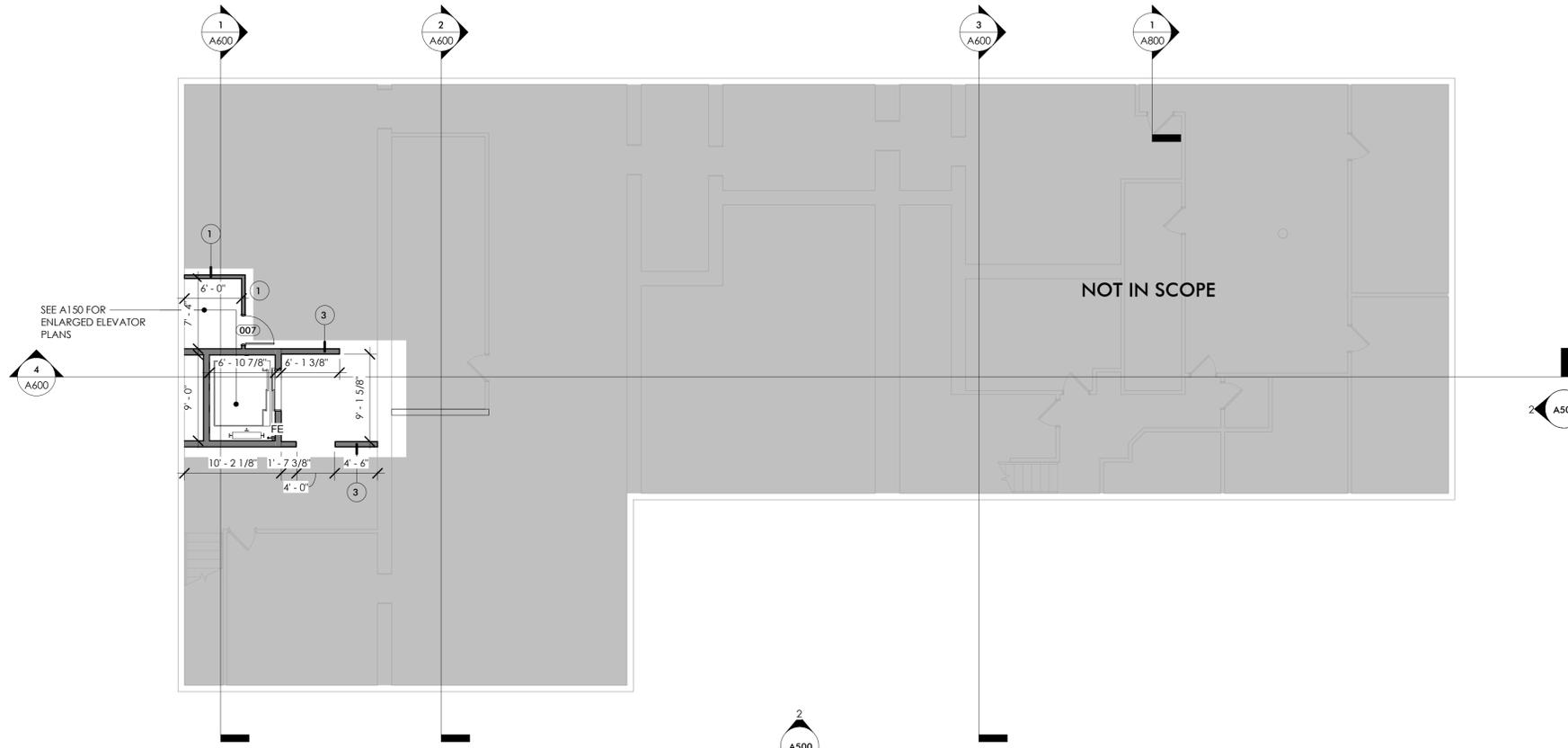
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NEW FLOOR PLANS

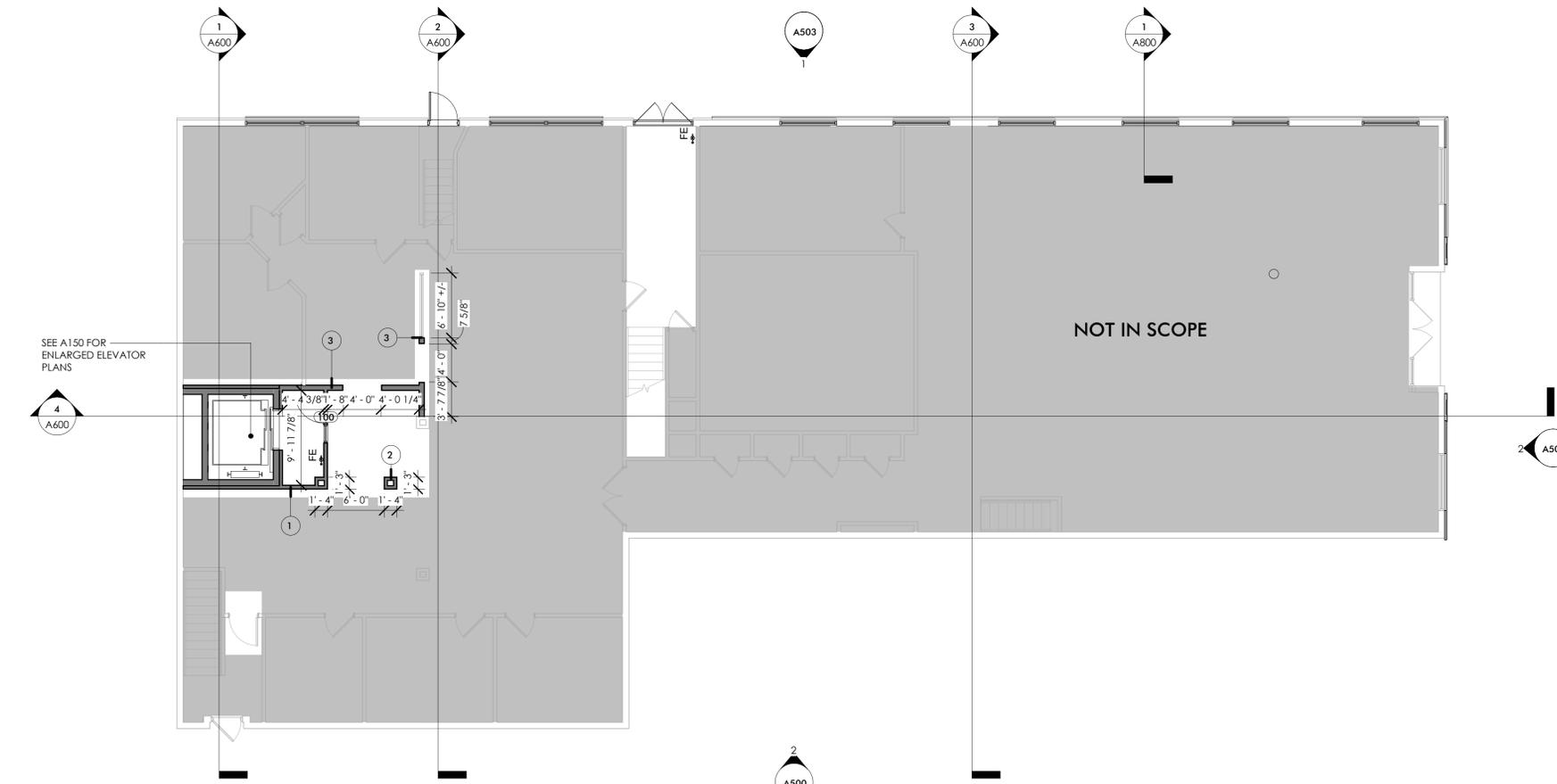
A121

GENERAL NOTES

1. ALL GYPSUM BOARD THROUGHOUT IS TO BE 5/8" TYPE-X AS A MINIMUM.
2. ALL EXISTING INTERIOR WALLS THAT ARE TO REMAIN ARE TO BE PATCHED AS REQUIRED FROM NEW UTILITIES OR GENERAL CONSTRUCTION.
3. INFILL OF EXISTING WALL OPENINGS IS TO RESULT IN FLUSH FINISHES ON BOTH SIDES OF THE WALL. UNLESS OTHERWISE NOTED, USE APPROPRIATE STUD FRAMING TO ACHIEVE DESIRED FINISH.
4. INSTALL WOOD BLOCKING IN WALLS AS NECESSARY FOR INSTALLATION OF ALL CASEWORK, MIRRORS, TOWEL BARS, SHOWER CURTAIN RODS, TOILET PAPER DISPENSERS, PAPER TOWEL HOLDERS, TOILET PARTITIONS, RAILINGS, AND ANY OTHER ACCESSORIES.
5. PROVIDE CEMENT BOARD IN LIEU OF GYPSUM BOARD AT ALL BATHTUB, SHOWER, AND KITCHEN LOCATIONS TO RECEIVE WALL TILE. COORDINATE WITH INTERIORS.
6. DRAWINGS ESTABLISH THE DESIGN INTENT OF WORK TO BE PERFORMED. ALL PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. ALL TRADES SHALL CAREFULLY COORDINATE WORK OF ALL OTHER TRADES. CONTRACTORS SHALL BE RESPONSIBLE FOR FIELD VERIFYING EXISTING CONDITIONS AND FOR VERIFYING THEM WITH THE CONTRACT DOCUMENTS. ANY DISCREPANCIES OR CONFLICTS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT AND THE OWNER PRIOR TO FABRICATION OR INSTALLATION.
7. COORDINATE SIZE AND LOCATION OF ALL EQUIPMENT SUPPORTS INCLUDING BUT NOT RESTRICTED TO CONCRETE HOUSEKEEPING PADS WITH APPROPRIATE EQUIPMENT MANUFACTURER.
8. VERIFY QUANTITY, SIZE, AND LOCATION OF ALL FLOOR, ROOF, AND WALL OPENINGS FOR ALL DISCIPLINES INCLUDING BUT NOT RESTRICTED TO MECHANICAL AND ELECTRICAL WORK WITH THE APPROPRIATE TRADE. PROVIDE ALL OPENINGS SHOWN OR REQUIRED FOR THE COMPLETION OF THE WORK. PROVIDE ALL LINTELS REQUIRED FOR THESE OPENINGS PER SPECIFICATIONS.
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10. DIMENSIONS PRECEDED BY +/- SHOULD BE REVIEWED AND ALL NECESSARY ADJUSTMENTS MADE PRIOR TO FABRICATION AND/OR INSTALLATION OF AFFECTED WORK. NOTIFY ARCHITECT'S REPRESENTATIVE IF DISCREPANCIES ARISE BEFORE PROCEEDING WITH THE WORK.
11. BATHROOM MIRRORS AND LIGHT FIXTURES ABOVE VANITIES SHALL BE CENTERED ON THE SINKS.



0 BASEMENT FLOOR PLAN
 1/8" = 1'-0"



1 FIRST FLOOR PLAN
 1/8" = 1'-0"

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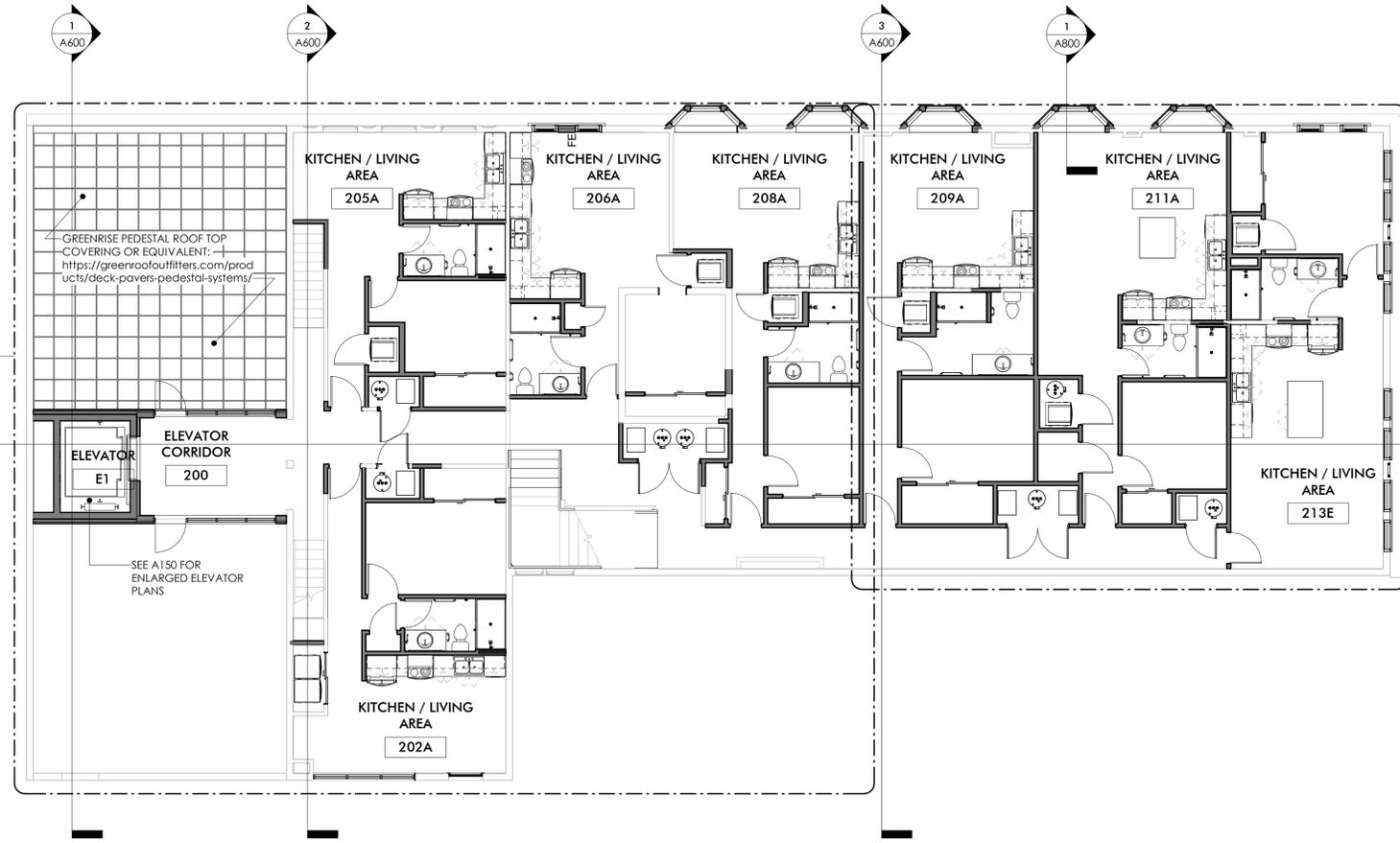
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NEW FLOOR PLANS

A122

GENERAL NOTES

1. ALL GYPSUM BOARD THROUGHOUT IS TO BE 5/8" TYPE-X AS A MINIMUM.
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3. INFILL OF EXISTING WALL OPENINGS IS TO RESULT IN FLUSH FINISHES ON BOTH SIDES OF THE WALL, UNLESS OTHERWISE NOTED, USE APPROPRIATE STUD FRAMING TO ACHIEVE DESIRED FINISH.
4. INSTALL WOOD BLOCKING IN WALLS AS NECESSARY FOR INSTALLATION OF ALL CASEWORK, MIRRORS, TOWEL BARS, SHOWER CURTAIN RODS, TOILET PAPER DISPENSERS, PAPER TOWEL HOLDERS, TOILET PARTITIONS, RAILINGS, AND ANY OTHER ACCESSORIES.
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8. VERIFY QUANTITY, SIZE, AND LOCATION OF ALL FLOOR, ROOF, AND WALL OPENINGS FOR ALL DISCIPLINES INCLUDING BUT NOT RESTRICTED TO MECHANICAL AND ELECTRICAL WORK WITH THE APPROPRIATE TRADE. PROVIDE ALL OPENINGS SHOWN OR REQUIRED FOR THE COMPLETION OF THE WORK. PROVIDE ALL LINTELS REQUIRED FOR THESE OPENINGS PER SPECIFICATIONS.
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11. BATHROOM MIRRORS AND LIGHT FIXTURES ABOVE VANITIES SHALL BE CENTERED ON THE SINKS.



1 SECOND FLOOR PLAN

1/8" = 1'-0"



2 THIRD FLOOR PLAN

1/8" = 1'-0"

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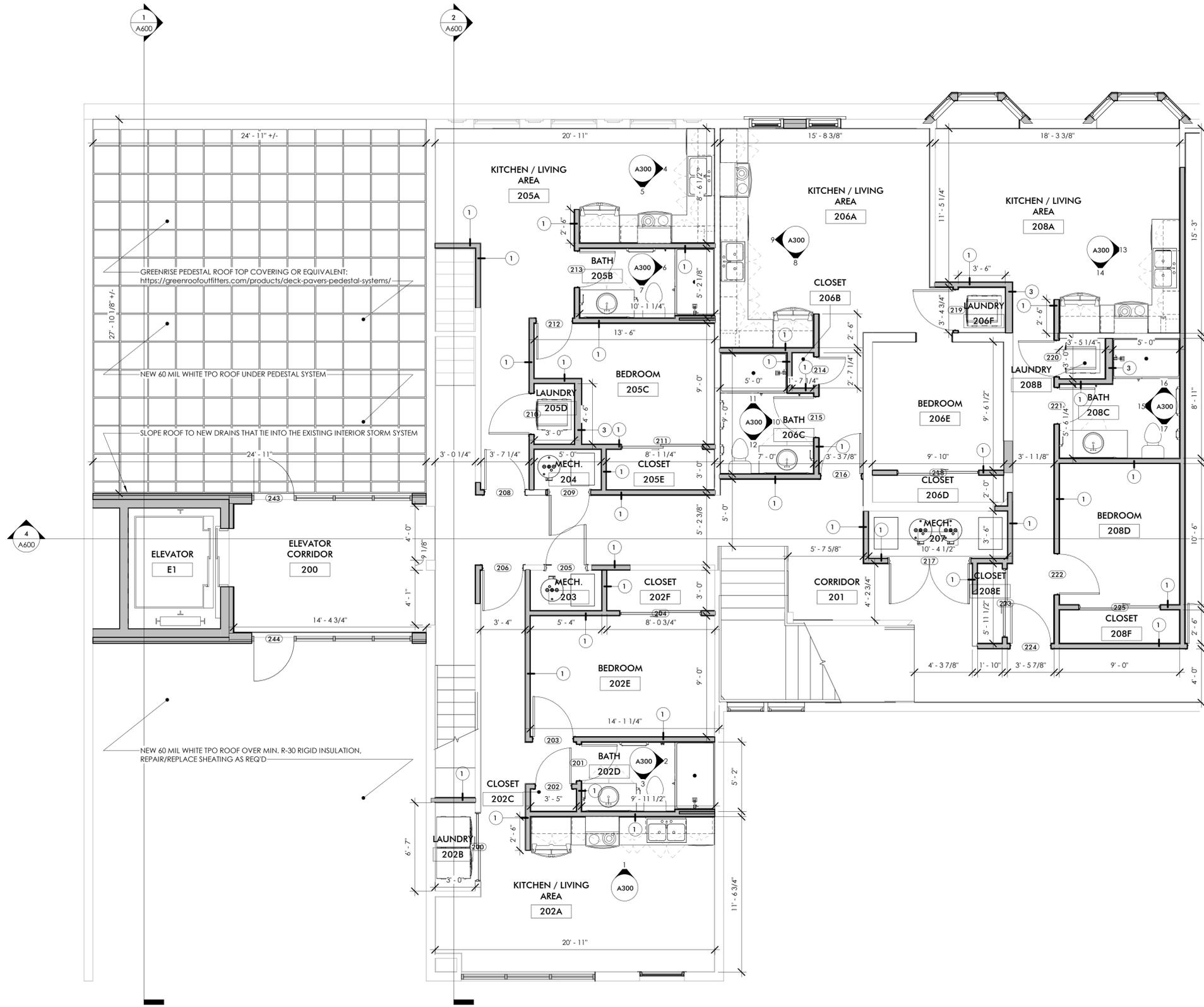
PROJECT NUMBER
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ENLARGED PLANS

A130

GENERAL NOTES

- ALL GYPSUM BOARD THROUGHOUT IS TO BE 5/8" TYPE-X AS A MINIMUM.
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1 ENLARGED SECOND FLOOR PLAN - W
 A130 1/4" = 1'-0"

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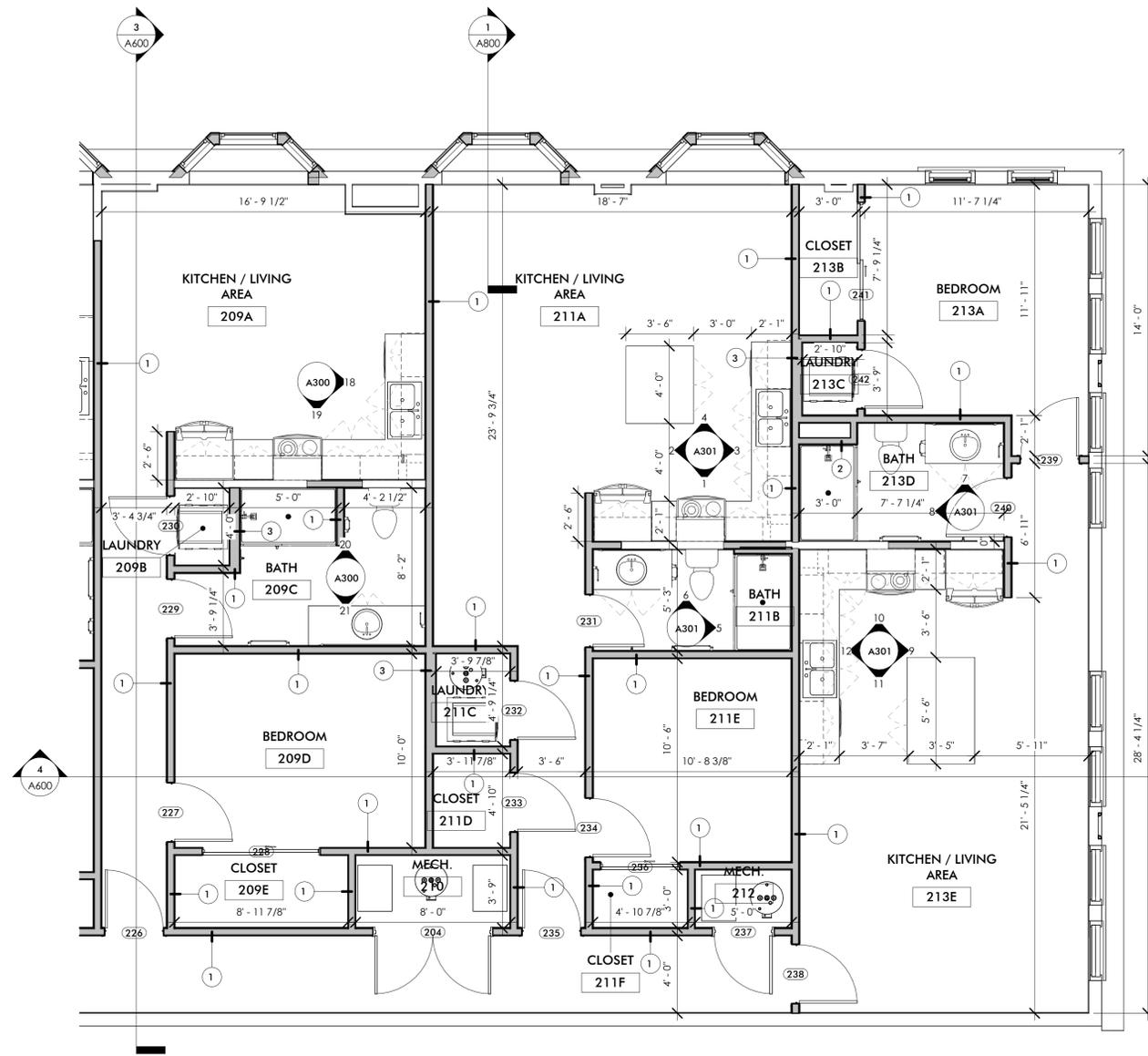
PROJECT NUMBER
 2023.113

ENLARGED PLANS

A131

GENERAL NOTES

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1 ENLARGED SECOND FLOOR PLAN - E
 1/4" = 1'-0"

GENERAL NOTES

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11. BATHROOM MIRRORS AND LIGHT FIXTURES ABOVE VANITIES SHALL BE CENTERED ON THE SINKS.



1 ENLARGED THIRD FLOOR PLAN - W
A132 1/4" = 1'-0"

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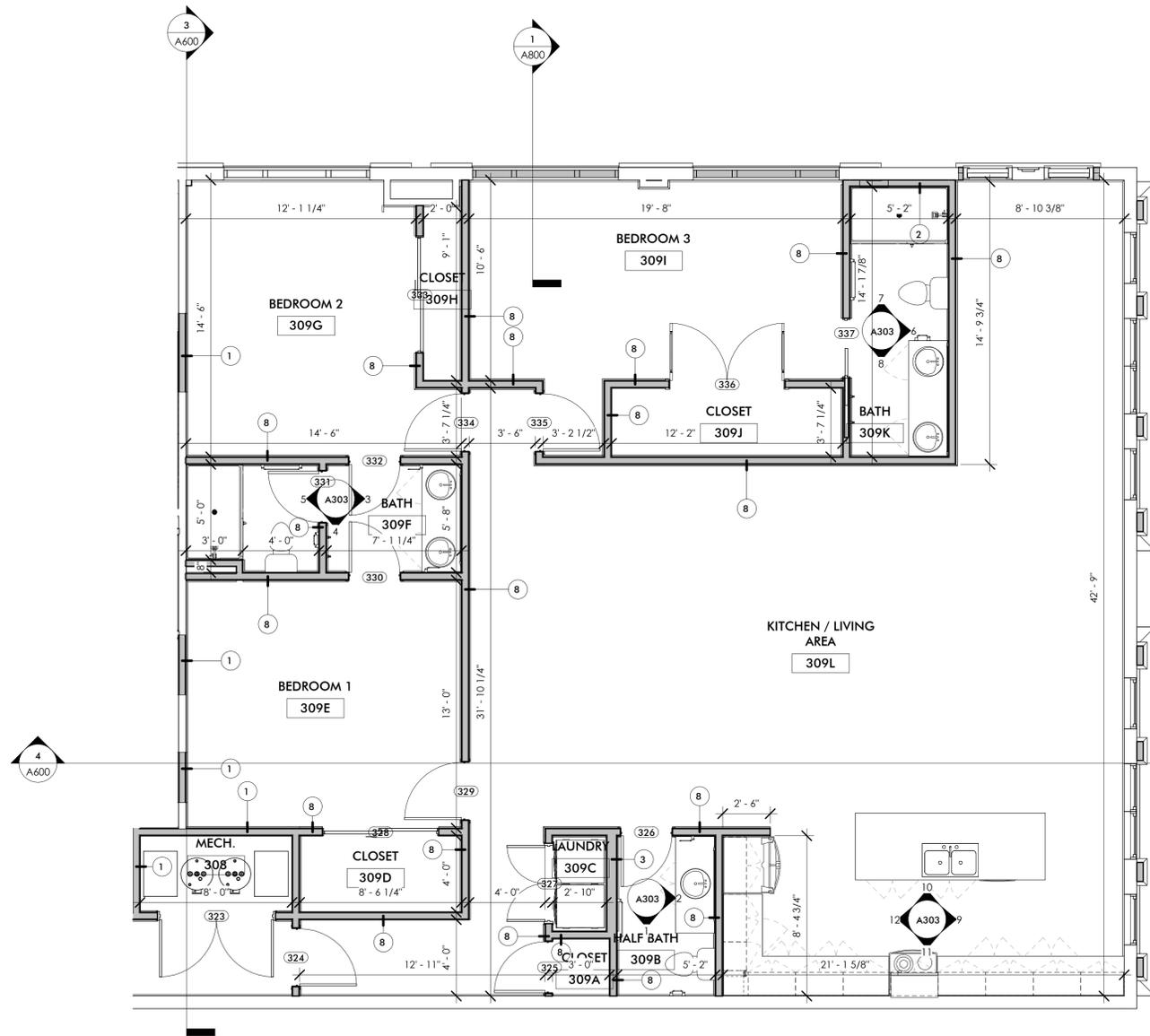
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ENLARGED PLANS
A133

GENERAL NOTES

- ALL GYPSUM BOARD THROUGHOUT IS TO BE 5/8" TYPE-X AS A MINIMUM.
- ALL EXISTING INTERIOR WALLS THAT ARE TO REMAIN ARE TO BE PATCHED AS REQUIRED FROM NEW UTILITIES OR GENERAL CONSTRUCTION.
- INFILL OF EXISTING WALL OPENINGS IS TO RESULT IN FLUSH FINISHES ON BOTH SIDES OF THE WALL, UNLESS OTHERWISE NOTED, USE APPROPRIATE STUD FRAMING TO ACHIEVE DESIRED FINISH.
- INSTALL WOOD BLOCKING IN WALLS AS NECESSARY FOR INSTALLATION OF ALL CASEWORK, MIRRORS, TOWEL BARS, SHOWER CURTAIN RODS, TOILET PAPER DISPENSERS, PAPER TOWEL HOLDERS, TOILET PARTITIONS, RAILINGS, AND ANY OTHER ACCESSORIES.
- PROVIDE CEMENT BOARD IN LIEU OF GYPSUM BOARD AT ALL BATHTUB, SHOWER, AND KITCHEN LOCATIONS TO RECEIVE WALL TILE. COORDINATE WITH INTERIORS.
- DRAWINGS ESTABLISH THE DESIGN INTENT OF WORK TO BE PERFORMED. ALL PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. ALL TRADES SHALL CAREFULLY COORDINATE WORK OF ALL OTHER TRADES. CONTRACTORS SHALL BE RESPONSIBLE FOR FIELD VERIFYING EXISTING CONDITIONS AND FOR VERIFYING THEM WITH THE CONTRACT DOCUMENTS. ANY DISCREPANCIES OR CONFLICTS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT AND THE OWNER PRIOR TO FABRICATION OR INSTALLATION.
- COORDINATE SIZE AND LOCATION OF ALL EQUIPMENT SUPPORTS INCLUDING BUT NOT RESTRICTED TO CONCRETE HOUSEKEEPING PADS WITH APPROPRIATE EQUIPMENT MANUFACTURER.
- VERIFY QUANTITY, SIZE, AND LOCATION OF ALL FLOOR, ROOF, AND WALL OPENINGS FOR ALL DISCIPLINES INCLUDING BUT NOT RESTRICTED TO MECHANICAL AND ELECTRICAL WORK WITH THE APPROPRIATE TRADE. PROVIDE ALL OPENINGS SHOWN OR REQUIRED FOR THE COMPLETION OF THE WORK. PROVIDE ALL LINTELS REQUIRED FOR THESE OPENINGS PER SPECIFICATIONS.
- VERIFY QUANTITY, SIZE, AND LOCATION OF ALL FLOOR, ROOF, AND WALL OPENINGS FOR ALL DISCIPLINES INCLUDING BUT NOT RESTRICTED TO MECHANICAL AND ELECTRICAL WORK WITH THE APPROPRIATE TRADE.
- DIMENSIONS PRECEDED BY +/- SHOULD BE REVIEWED AND ALL NECESSARY ADJUSTMENTS MADE PRIOR TO FABRICATION AND/OR INSTALLATION OF AFFECTED WORK. NOTIFY ARCHITECT'S REPRESENTATIVE IF DISCREPANCIES ARISE BEFORE PROCEEDING WITH THE WORK.
- BATHROOM MIRRORS AND LIGHT FIXTURES ABOVE VANITIES SHALL BE CENTERED ON THE SINKS.



1 ENLARGED THIRD FLOOR PLAN - E
 A133 1/4" = 1'-0"

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PROJECT NAME
123 N. WASHINGTON
PROJECT ADDRESS
123 N. WASHINGTON STREET, OWOSSO MI
CLIENT
RANDY AND JAMES WOODWORTH

ISSUE
PERMIT SET

REVISION

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PROJECT NUMBER
2023.113

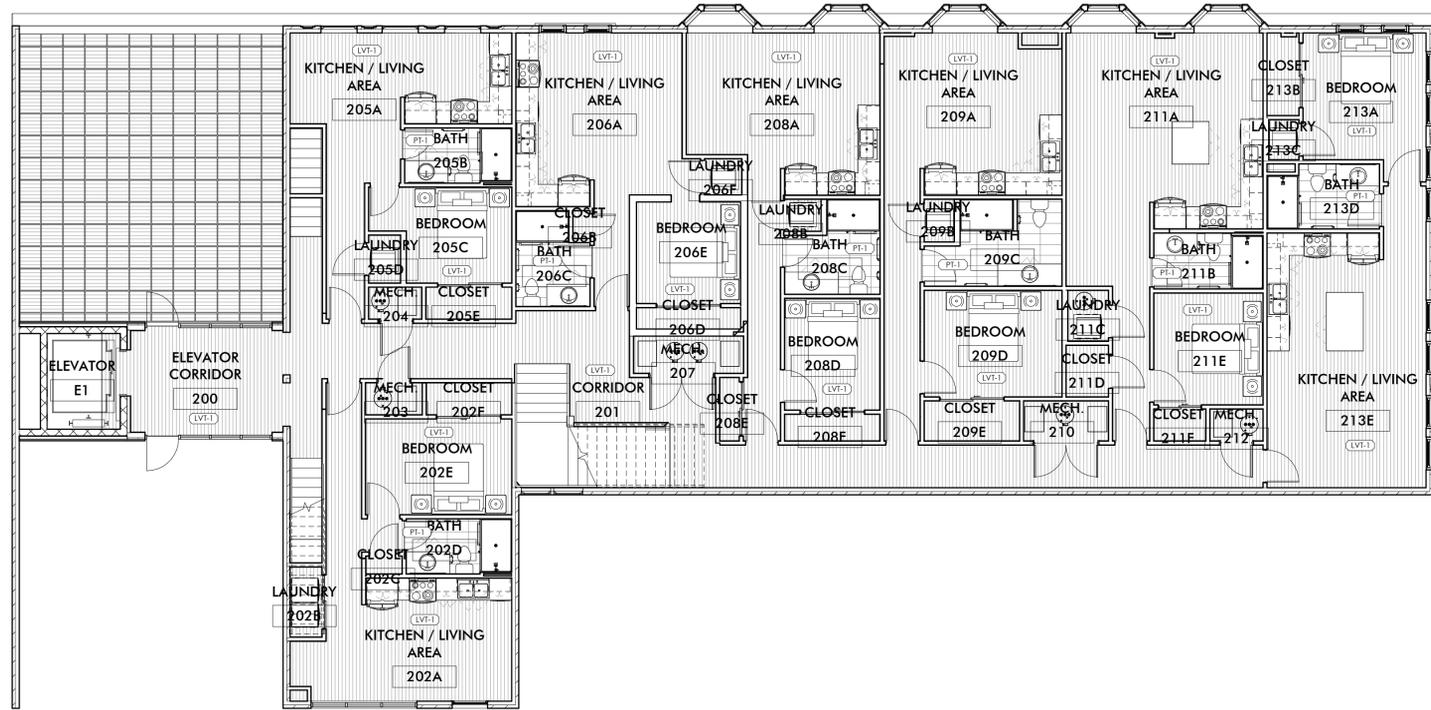
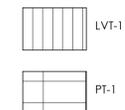
FINISH PLANS

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GENERAL NOTES

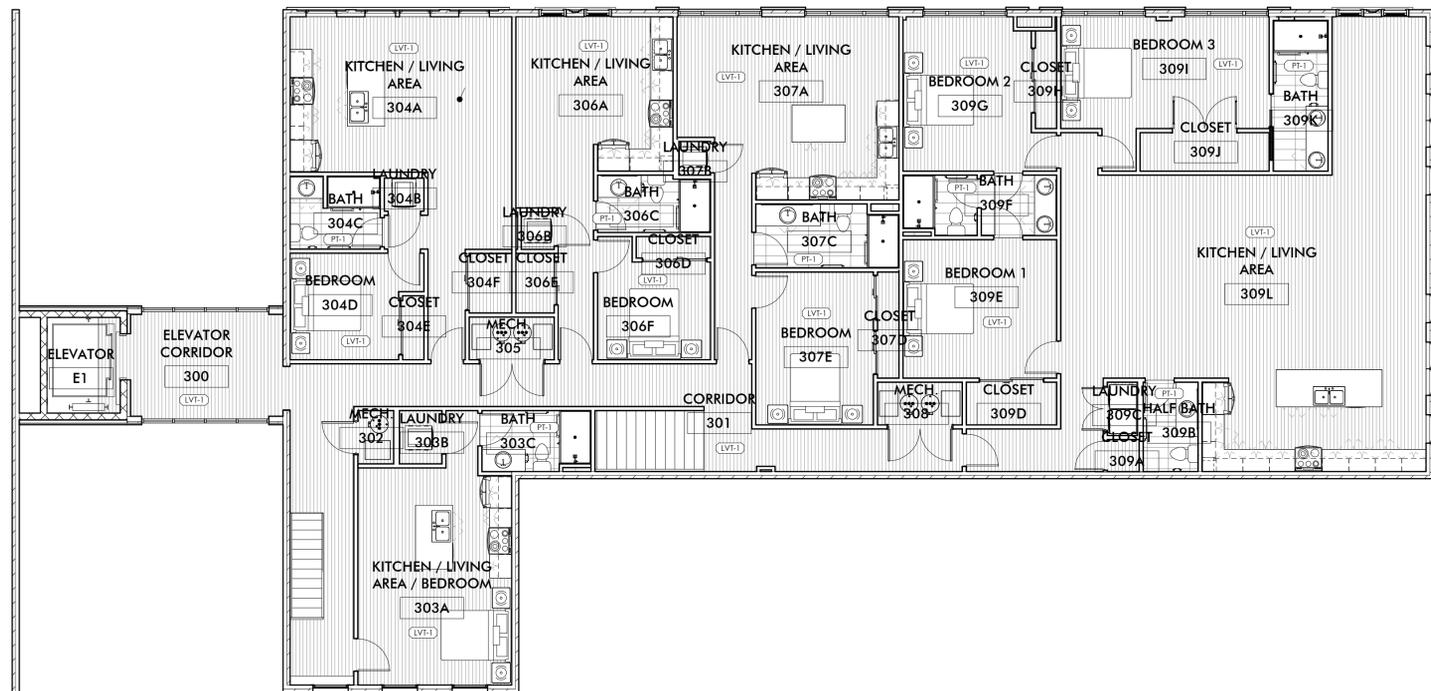
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- PRIME AND PAINT ALL SURFACES WITH A MINIMUM (2) FINISH COATS.
- AFTER REMOVING EXISTING FLOORING, GRIND CONCRETE OR REPLACE SUBFLOOR AS REQUIRED TO PROVIDE A LEVEL SURFACE FOR THE NEW FLOORING
- SEE EXTERIOR ELEVATIONS FOR EXTERIOR MATERIALS
- TRANSITIONS TO BE MANUFACTURED FROM SCHLUTER SYSTEMS U.N.O. IN TSC CREAM FINISH IN THE APPROPRIATE THICKNESS FOR THE ADJACENT MATERIALS
- CENTER ALL FLOORING TRANSITIONS UNDER DOORS OR AT THE CENTER OF OPENINGS U.N.O.
- USE LEVELING COMPOUND TO FEATHER FLOOR UP TO APPROPRIATE HEIGHT TO ENSURE THAT TRANSITION STRIP IS FLUSH WITH ADJACENT FLOORING MATERIAL
- DO NOT PROVIDE METAL CORNER PIECES FOR OUTSIDE OR INSIDE CORNERS OF INTEGRAL COVE BASE. CONTRACTOR TO PROVIDE AND INSTALL METAL CHANNEL CAP FOR EXPOSED EDGE OF SHEET VINYL
- GROUT FOR PT-1 TO BE TEC - SILVERADO
- PROVIDE AND INSTALL ALL NECESSARY TRIM PIECES FOR WALL PROTECTION
- CABINET PULLS TO BE RICHELIEU- CONTEMPORARY METAL PULL-6500 (BP650020128140)- CHROME - BASIS OF DESIGN. ALL PULLS TO BE VERTICAL FOR DIRECTIONAL PLACEMENT MOUNTED TO THE LATCH SIDE OF CABINET DOORS AND CENTER OF DRAWERS (U.N.O.) ALL DRAWER PULLS ARE SHOWN FOR REFERENCE ONLY AND NOT INDICATION OF MOUNTING LOCATION
- ALL EXPOSED METAL ELEC./MECH. ITEMS IN OCCUPIED SPACES TO BE FIELD-PAINTED TO MATCH SURROUNDING WALL FINISH
- BULKHEADS TO BE PAINTED TO MATCH SURROUNDING WALLS ON FACE AND UNDERSIDE U.N.O
- ALL PLASTIC LAMINATE COUNTERS TO HAVE MITERED SQUARE EDGES WITH MATCHING P.LAM EDGE BANDING (OR PVC EDGE BANDING)
- ALL CONCEALED SUPPORT BRACKETS TO BE A&M HARDWARE C/EC FLAT CONCEALED BRACKETS IN APPROPRIATE SIZE - BASIS OF DESIGN
- WINDOW SILLS TO BE IPS-2
- PAINT CONDUIT, PIPING, JUNCTION BOXES, DUCTWORK AND OTHER EXPOSED UTILITIES TO MATCH CEILING PAINT, OTHER THAN IN MECHANICAL AND ELECTRICAL ROOMS U.N.O.
- SUBMIT 9"X9" SAMPLES FOR APPROVAL ON ALL FINISHES PRIOR TO ORDERING
- REFER TO FINISH PLANS AND ELEVATIONS FOR ACCENT WALL LOCATIONS AND MULTIPLE FINISH LOCATIONS
- REFER TO ALL INTERIOR FINISH NOTES AND INTERIOR DRAWINGS INCLUDING PLANS, ELEVATIONS AND DETAILS FOR COMPLETE INTERIORS INFORMATION
- CONDUCT MOISTURE TESTS ON ALL CONCRETE SLABS WHERE FINISH MATERIALS ARE SCHEDULED, RECORD PASSING MOISTURE LEVELS PRIOR TO START OF INSTALLATION. REFERENCE MANUFACTURERS INSTALLATION SPECIFICATIONS FOR EACH FLOOR FINISH TYPE TO VERIFY REQUIREMENTS
- WHERE SPECIFIED, PROVIDE CONTINUOUS LENGTH OF RUBBER WALL BASE WITH FIELD FORMED CORNERS, U.N.O.
- PROVIDE A SMOOTH LEVEL 4 DRYWALL FINISH ON ALL GYPSUM WALLS U.N.O.

FINISH PLAN LEGEND



2 SECOND FLOOR PLAN

1/8" = 1'-0" ON ALL FINISH PLANS, NORTH IS TO BE ASSUMED DIRECTLY STRAIGHT UP ON THE FLOOR PLAN TO CORRELATE WITH WALL FINISH LOCATIONS



3 THIRD FLOOR FINISH PLAN

1/8" = 1'-0" ON ALL FINISH PLANS, NORTH IS TO BE ASSUMED DIRECTLY STRAIGHT UP ON THE FLOOR PLAN TO CORRELATE WITH WALL FINISH LOCATIONS

FINISH SCHEDULE KEY							
CODE	MATERIAL	MANUFACTURER	STYLE	SIZE	COLOR	CONTACT INFO	NOTES
CAB-1	CABINETS	MFS SUPPLY	PRO CABINETS		WHITE SHAKER		
IPS-1	PAINT (TO MATCH)	SHERWIN WILLIAMS	EGGSHELL FINISH		SW9589 LIMEWASH		WALLS
IPS-2	PAINT (TO MATCH)	SHERWIN WILLIAMS	SEMI GLOSS FINISH		SW7004 SNOWBOUND		TRIM/ BASE
IPS-3	PAINT (TO MATCH)	SHERWIN WILLIAMS	FLAT FINISH		SW7005 PURE WHITE		CEILING
LVT-1	LUXURY VINYL TILE	PATCRAFT	NORTH RIDGE 1206V	4" X 36"	COASTAL 02160	RYAN MORTON - ryan.morton@patcraft.com	STAGGER INSTALLATION
PL-1	PLASTIC LAMINATE	WILSONART	HIGH GLOSS FINISH		LECHE VESTA 4987		CONTRTERTOPS
PT-1	PORCELAIN TILE	TILEBAR	FORDHAM - MATTE	12" X 24"	GRIGIO GRAY		BATHROOM FLOORS
RST-1	RUBBER STAIR TREAD						MATCH EXISTING HISTORIC WHERE NEEDED
WDB-1	WOOD BASEBOARD			1X6	IPS-2		MATCH EXISTING HISTORIC WHERE NEEDED
WDT-1	WOOD TRIM			1X4	IPS-2		MATCH EXISTING HISTORIC WHERE NEEDED

ON ALL FINISH PLANS, NORTH IS TO BE ASSUMED DIRECTLY STRAIGHT UP ON THE FLOOR PLAN TO CORRELATE WITH WALL FINISH LOCATIONS

FINISH SCHEDULE												
ROOM NUMBER	ROOM NAME	FLOOR	BASE	WALL				CEILING	MILLWORK		NOTES	
				NORTH	EAST	SOUTH	WEST		CABINET	TOP		
200	ELEVATOR CORRIDOR	LVT-1	WDB-1	IPS-1	IPS-1	IPS-1	IPS-1	IPS-3	-	-		
201	CORRIDOR	LVT-1	WDB-1	IPS-1	IPS-1	IPS-1	IPS-1	IPS-3	-	-		
202A	KITCHEN / LIVING AREA	LVT-1	WDB-1	IPS-1	IPS-1	IPS-1	IPS-1	IPS-3	CAB-1	PL-1		
202B	LAUNDRY	LVT-1	WDB-1	IPS-1	IPS-1	IPS-1	IPS-1	IPS-3	-	-		
202C	CLOSET	LVT-1	WDB-1	IPS-1	IPS-1	IPS-1	IPS-1	IPS-3	-	-		
202D	BATH	PT-1	WDB-1	IPS-1	IPS-1	IPS-1	IPS-1	IPS-3	CAB-1	PL-1		
202E	BEDROOM	LVT-1	WDB-1	IPS-1	IPS-1	IPS-1	IPS-1	IPS-3	-	-		
202F	CLOSET	LVT-1	WDB-1	IPS-1	IPS-1	IPS-1	IPS-1	IPS-3	-	-		
203	MECH.	LVT-1	WDB-1	IPS-1	IPS-1	IPS-1	IPS-1	IPS-3	-	-		
204	MECH.	LVT-1	WDB-1	IPS-1	IPS-1	IPS-1	IPS-1	IPS-3	-	-		
205A	KITCHEN / LIVING AREA	LVT-1	WDB-1	IPS-1	IPS-1	IPS-1	IPS-1	IPS-3	CAB-1	PL-1		
205B	BATH	PT-1	WDB-1	IPS-1	IPS-1	IPS-1	IPS-1	IPS-3	CAB-1	PL-1		
205C	BEDROOM	LVT-1	WDB-1	IPS-1	IPS-1	IPS-1	IPS-1	IPS-3	-	-		
205D	LAUNDRY	LVT-1	WDB-1	IPS-1	IPS-1	IPS-1	IPS-1	IPS-3	-	-		
205E	CLOSET	LVT-1	WDB-1	IPS-1	IPS-1	IPS-1	IPS-1	IPS-3	-	-		
206A	KITCHEN / LIVING AREA	LVT-1	WDB-1	IPS-1	IPS-1	IPS-1	IPS-1	IPS-3	CAB-1	PL-1		
206B	CLOSET	LVT-1	WDB-1	IPS-1	IPS-1	IPS-1	IPS-1	IPS-3	-	-		
206C	BATH	PT-1	WDB-1	IPS-1	IPS-1	IPS-1	IPS-1	IPS-3	CAB-1	PL-1		
206D	CLOSET	LVT-1	WDB-1	IPS-1	IPS-1	IPS-1	IPS-1	IPS-3	-	-		
206E	BEDROOM	LVT-1	WDB-1	IPS-1	IPS-1	IPS-1	IPS-1	IPS-3	-	-		
206F	LAUNDRY	PT-1	WDB-1	IPS-1	IPS-1	IPS-1	IPS-1	IPS-3	-	-		
207	MECH.	LVT-1	WDB-1	IPS-1	IPS-1	IPS-1	IPS-1	IPS-3	-	-		
208A	KITCHEN / LIVING AREA	LVT-1	WDB-1	IPS-1	IPS-1	IPS-1	IPS-1	IPS-3	CAB-1	PL-1		
208B	LAUNDRY	LVT-1	WDB-1	IPS-1	IPS-1	IPS-1	IPS-1	IPS-3	-	-		
208C	BATH	PT-1	WDB-1	IPS-1	IPS-1	IPS-1	IPS-1	IPS-3	CAB-1	PL-1		
208D	BEDROOM	LVT-1	WDB-1	IPS-1	IPS-1	IPS-1	IPS-1	IPS-3	-	-		
208E	CLOSET	LVT-1	WDB-1	IPS-1	IPS-1	IPS-1	IPS-1	IPS-3	-	-		
208F	CLOSET	LVT-1	WDB-1	IPS-1	IPS-1	IPS-1	IPS-1	IPS-3	-	-		
209A	KITCHEN / LIVING AREA	LVT-1	WDB-1	IPS-1	IPS-1	IPS-1	IPS-1	IPS-3	CAB-1	PL-1		
209B	LAUNDRY	LVT-1	WDB-1	IPS-1	IPS-1	IPS-1	IPS-1	IPS-3	-	-		
209C	BATH	PT-1	WDB-1	IPS-1	IPS-1	IPS-1	IPS-1	IPS-3	CAB-1	PL-1		
209D	BEDROOM	LVT-1	WDB-1	IPS-1	IPS-1	IPS-1	IPS-1	IPS-3	-	-		
209E	CLOSET	LVT-1	WDB-1	IPS-1	IPS-1	IPS-1	IPS-1	IPS-3	-	-		
210	MECH.	LVT-1	WDB-1	IPS-1	IPS-1	IPS-1	IPS-1	IPS-3	-	-		
211A	KITCHEN / LIVING AREA	LVT-1	WDB-1	IPS-1	IPS-1	IPS-1	IPS-1	IPS-3	CAB-1	PL-1		
211B	BATH	PT-1	WDB-1	IPS-1	IPS-1	IPS-1	IPS-1	IPS-3	CAB-1	PL-1		
211C	LAUNDRY	LVT-1	WDB-1	IPS-1	IPS-1	IPS-1	IPS-1	IPS-3	-	-		
211D	CLOSET	LVT-1	WDB-1	IPS-1	IPS-1	IPS-1	IPS-1	IPS-3	-	-		
211E	BEDROOM	LVT-1	WDB-1	IPS-1	IPS-1	IPS-1	IPS-1	IPS-3	-	-		
211F	CLOSET	LVT-1	WDB-1	IPS-1	IPS-1	IPS-1	IPS-1	IPS-3	-	-		
212	MECH.	LVT-1	WDB-1	IPS-1	IPS-1	IPS-1	IPS-1	IPS-3	-	-		
213A	BEDROOM	LVT-1	WDB-1	IPS-1	IPS-1	IPS-1	IPS-1	IPS-3	-	-		
213B	CLOSET	LVT-1	WDB-1	IPS-1	IPS-1	IPS-1	IPS-1	IPS-3	-	-		
213C	LAUNDRY	LVT-1	WDB-1	IPS-1	IPS-1	IPS-1	IPS-1	IPS-3	-	-		
213D	BATH	PT-1	WDB-1	IPS-1	IPS-1	IPS-1	IPS-1	IPS-3	CAB-1	PL-1		
213E	KITCHEN / LIVING AREA	LVT-1	WDB-1	IPS-1	IPS-1	IPS-1	IPS-1	IPS-3	CAB-1	PL-1		
300	ELEVATOR CORRIDOR	LVT-1	WDB-1	IPS-1	IPS-1	IPS-1	IPS-1	IPS-3	-	-		
301	CORRIDOR	LVT-1	WDB-1	IPS-1	IPS-1	IPS-1	IPS-1	IPS-3	-	-		
302	MECH.	LVT-1	WDB-1	IPS-1	IPS-1	IPS-1	IPS-1	IPS-3	-	-		
303A	KITCHEN / LIVING AREA / BEDROOM	LVT-1	WDB-1	IPS-1	IPS-1	IPS-1	IPS-1	IPS-3	CAB-1	PL-1		
303B	LAUNDRY	LVT-1	WDB-1	IPS-1	IPS-1	IPS-1	IPS-1	IPS-3	-	-		
303C	BATH	PT-1	WDB-1	IPS-1	IPS-1	IPS-1	IPS-1	IPS-3	CAB-1	PL-1		
304A	KITCHEN / LIVING AREA	LVT-1	WDB-1	IPS-1	IPS-1	IPS-1	IPS-1	IPS-3	CAB-1	PL-1		
304B	LAUNDRY	LVT-1	WDB-1	IPS-1	IPS-1	IPS-1	IPS-1	IPS-3	-	-		
304C	BATH	PT-1	WDB-1	IPS-1	IPS-1	IPS-1	IPS-1	IPS-3	CAB-1	PL-1		
304D	BEDROOM	LVT-1	WDB-1	IPS-1	IPS-1	IPS-1	IPS-1	IPS-3	-	-		
304E	CLOSET	LVT-1	WDB-1	IPS-1	IPS-1	IPS-1	IPS-1	IPS-3	-	-		
304F	CLOSET	LVT-1	WDB-1	IPS-1	IPS-1	IPS-1	IPS-1	IPS-3	-	-		
305	MECH.	LVT-1	WDB-1	IPS-1	IPS-1	IPS-1	IPS-1	IPS-3	-	-		
306A	KITCHEN / LIVING AREA	LVT-1	WDB-1	IPS-1	IPS-1	IPS-1	IPS-1	IPS-3	CAB-1	PL-1		
306B	LAUNDRY	LVT-1	WDB-1	IPS-1	IPS-1	IPS-1	IPS-1	IPS-3	-	-		
306C	BATH	PT-1	WDB-1	IPS-1	IPS-1	IPS-1	IPS-1	IPS-3	CAB-1	PL-1		
306D	CLOSET	LVT-1	WDB-1	IPS-1	IPS-1	IPS-1	IPS-1	IPS-3	-	-		
306E	CLOSET	LVT-1	WDB-1	IPS-1	IPS-1	IPS-1	IPS-1	IPS-3	-	-		
306F	BEDROOM	LVT-1	WDB-1	IPS-1	IPS-1	IPS-1	IPS-1	IPS-3	-	-		
307A	KITCHEN / LIVING AREA	LVT-1	WDB-1	IPS-1	IPS-1	IPS-1	IPS-1	IPS-3	CAB-1	PL-1		
307B	LAUNDRY	LVT-1	WDB-1	IPS-1	IPS-1	IPS-1	IPS-1	IPS-3	-	-		
307C	BATH	PT-1	WDB-1	IPS-1	IPS-1	IPS-1	IPS-1	IPS-3	CAB-1	PL-1		
307D	CLOSET	LVT-1	WDB-1	IPS-1	IPS-1	IPS-1	IPS-1	IPS-3	-	-		
307E	BEDROOM	LVT-1	WDB-1	IPS-1	IPS-1	IPS-1	IPS-1	IPS-3	-	-		
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309B	HALF BATH	PT-1	WDB-1	IPS-1	IPS-1	IPS-1	IPS-1	IPS-3	CAB-1	PL-1		
309C	LAUNDRY	LVT-1	WDB-1	IPS-1	IPS-1	IPS-1	IPS-1	OPEN, TO MATCH EXISTING	-	-		
309D	CLOSET	LVT-1	WDB-1	IPS-1	IPS-1	IPS-1	IPS-1	OPEN, TO MATCH EXISTING	-	-		
309E	BEDROOM 1	LVT-1	WDB-1	IPS-1	IPS-1	IPS-1	IPS-1	OPEN, TO MATCH EXISTING	-	-		
309F	BATH	PT-1	WDB-1	IPS-1	IPS-1	IPS-1	IPS-1	IPS-3	CAB-1	PL-1		
309G	BEDROOM 2	LVT-1	WDB-1	IPS-1	IPS-1	IPS-1	IPS-1	OPEN, TO MATCH EXISTING	-	-		
309H	CLOSET	LVT-1	WDB-1	IPS-1	IPS-1	IPS-1	IPS-1	OPEN, TO MATCH EXISTING	-	-		
309I	BEDROOM 3	LVT-1	WDB-1	IPS-1	IPS-1	IPS-1	IPS-1	OPEN, TO MATCH EXISTING	-	-		
309J	CLOSET	LVT-1	WDB-1	IPS-1	IPS-1	IPS-1	IPS-1	OPEN, TO MATCH EXISTING	-	-		
309K	BATH	PT-1	WDB-1	IPS-1	IPS-1	IPS-1	IPS-1	IPS-3	CAB-1	PL-1		
309L	KITCHEN / LIVING AREA	LVT-1	WDB-1	IPS-1	IPS-1	IPS-1	IPS-1	OPEN, TO MATCH EXISTING	CAB-1	PL-1		
E1	ELEVATOR	LVT-1	REFER TO SHEET A602	-	-							
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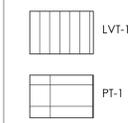
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FINISH PLAN LEGEND



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PROJECT NAME
123 N. WASHINGTON
PROJECT ADDRESS
123 N. WASHINGTON STREET, OWOSSO MI
CLIENT
RANDY AND JAMES WOODWORTH

ISSUE
PERMIT SET

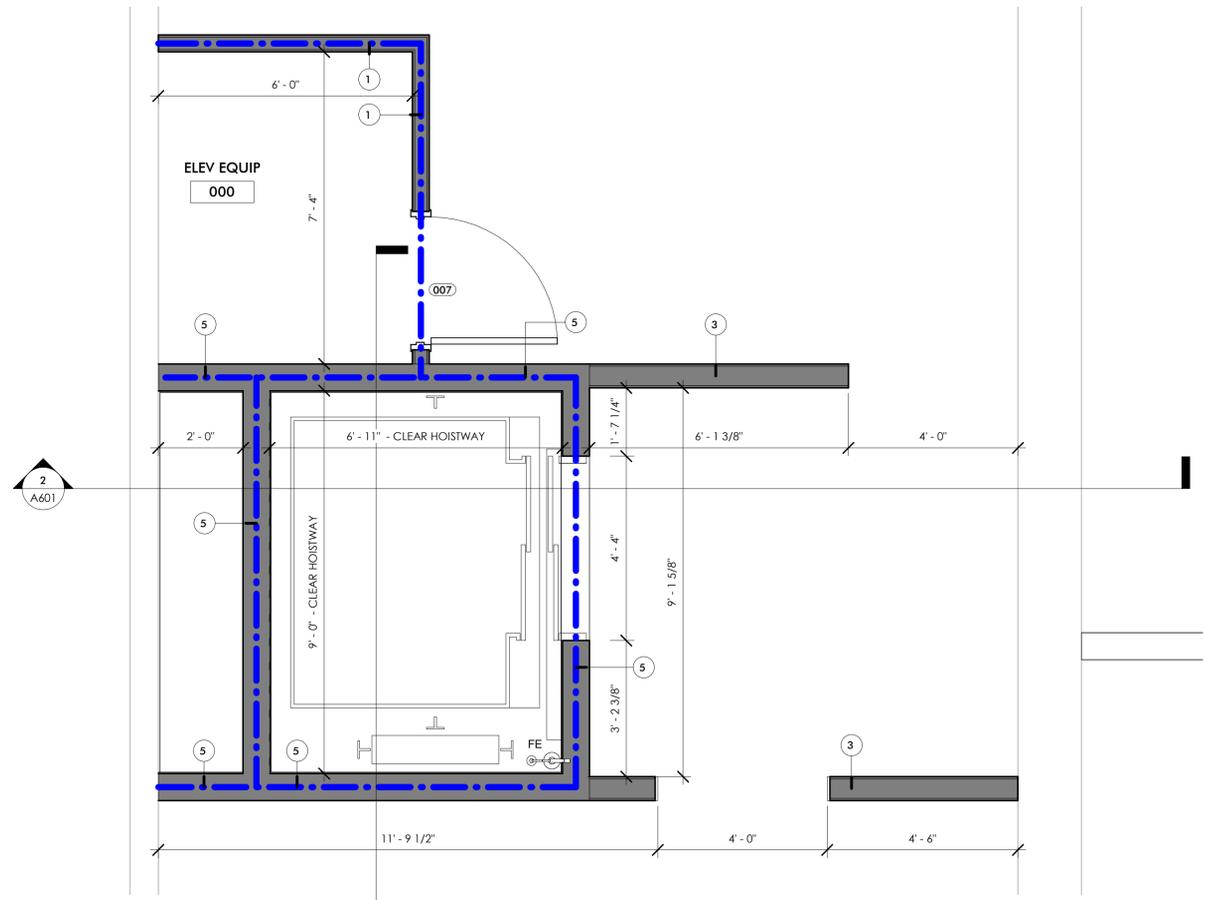
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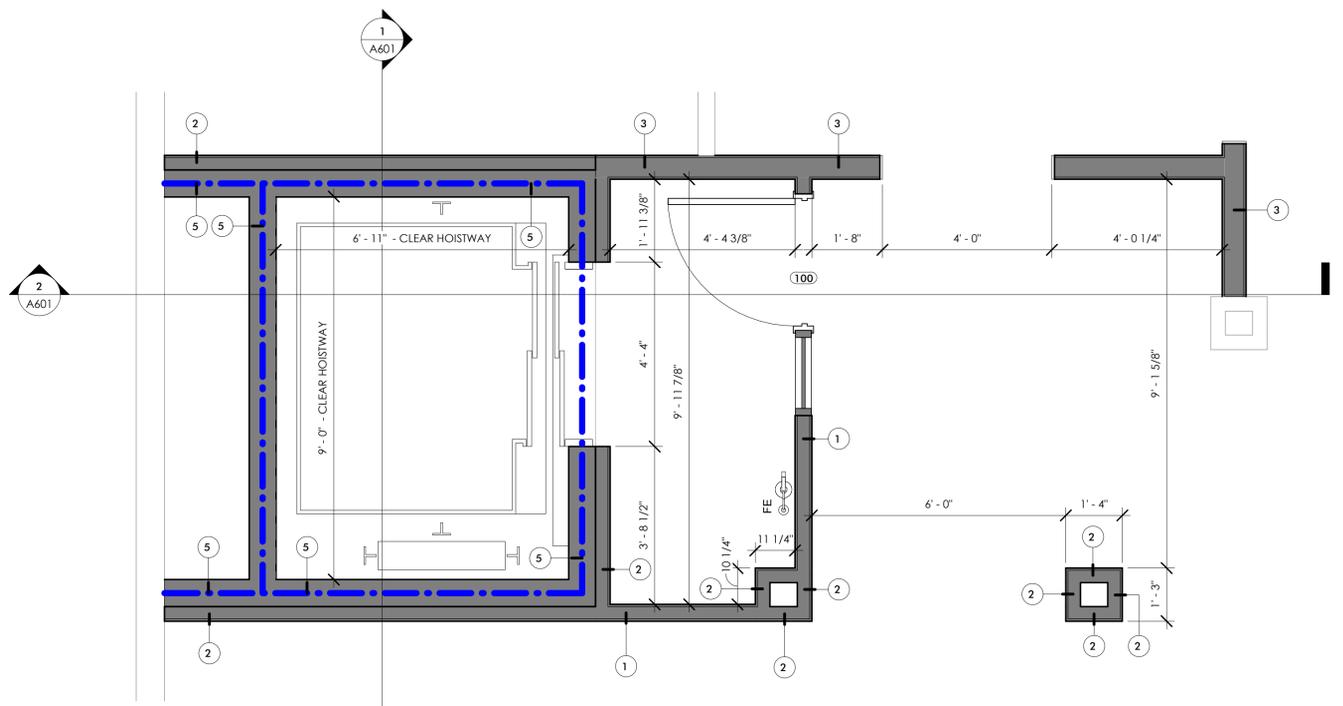
PROJECT NUMBER
2023.113

ENLARGED ELEVATOR PLANS

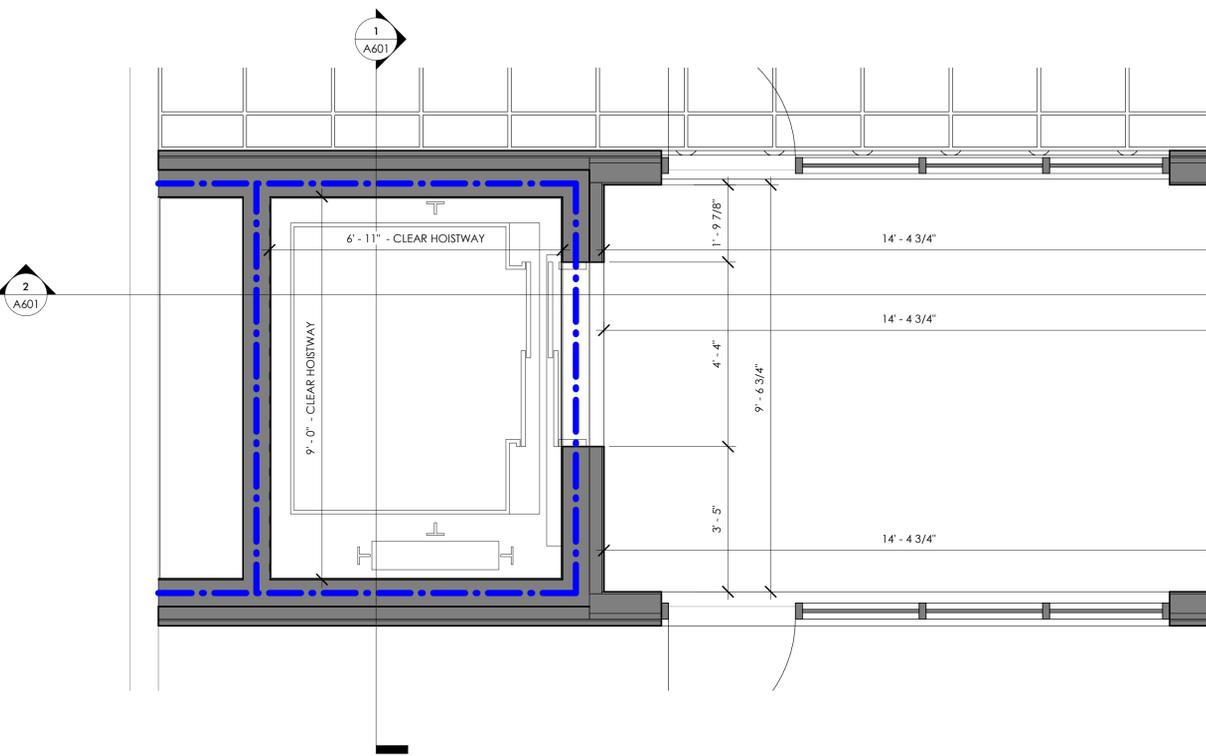
A150



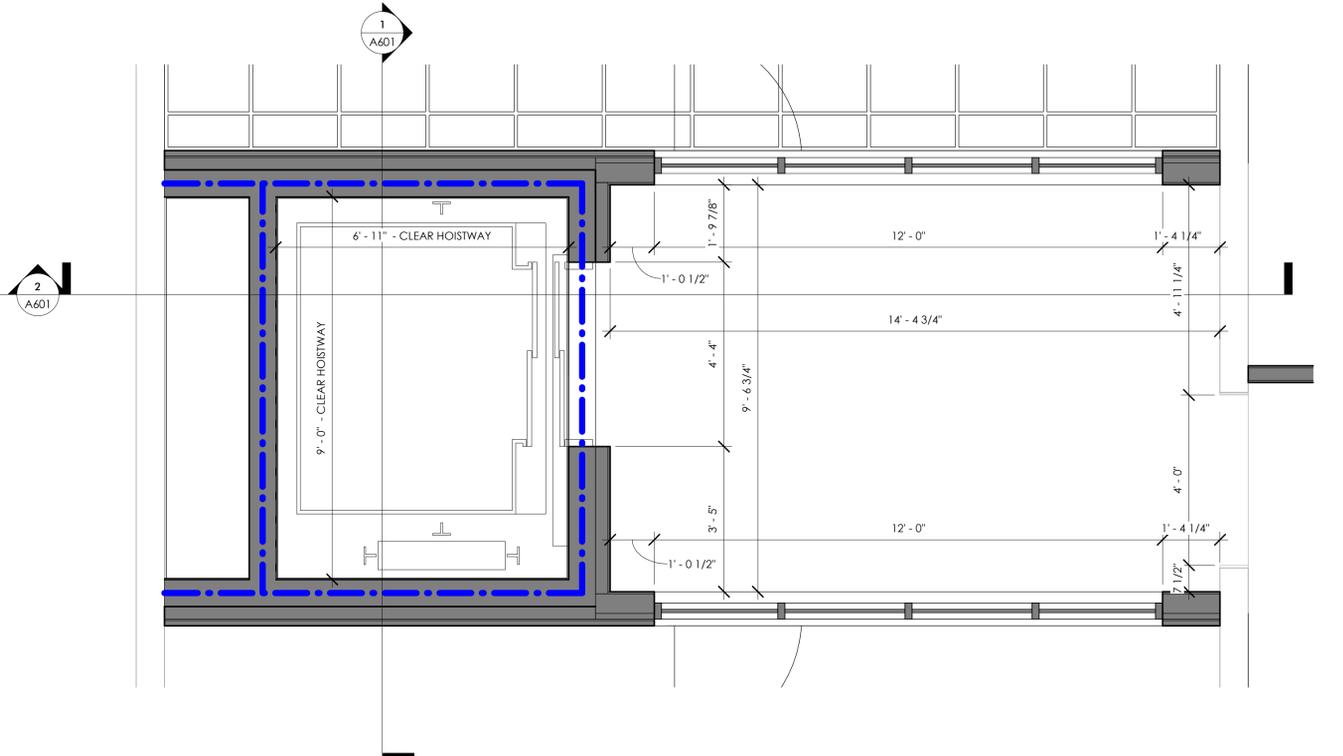
1 ENLARGED BASEMENT ELEVATOR PLAN
 A150 1/2" = 1'-0"



2 ENLARGED FIRST FLOOR ELEVATOR PLAN
 A150 1/2" = 1'-0"



3 SECOND FLOOR ELEVATOR PLAN
 A150 1/2" = 1'-0"

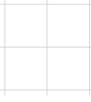


4 THIRD FLOOR PLAN
 A150 1/2" = 1'-0"

REFLECTED CEILING GENERAL NOTES

1. ALL LIGHT SWITCHES SHALL BE SILENT TYPE, 20 AMP, WHITE COLOR WITH WHITE COVER PLATES.
2. ALL NEW LIGHT FIXTURES TO BE LED. FIXTURES AND LAYOUT ARE SHOWN SCHEMATICALLY.
3. IF CEILING HEIGHTS ARE NOT CALLED OUT, THEN THE CEILING IS EXISTING OR SHALL BE EXPOSED TO THE EXISTING STRUCTURE ABOVE. CONFIRM WITH ARCHITECT
4. COORDINATE LIGHT FIXTURE, MECHANICAL, PLUMBING, ALONG WITH ANY OTHER SYSTEMS AS REQUIRED TO NOT INTERFERE WITH ONE ANOTHER.
5. ALL LIGHT FIXTURES AND HVAC SHALL BE CENTERED IN ALL ROOMS. 2X2 CEILING GRIDS, CLOUDS OR BETWEEN OTHER ELEMENTS OR EQUALLY SPACED UNLESS NOTED OTHERWISE.
6. ALL 2X2 CEILING GRIDS TO BE CENTERED IN ROOM UNLESS NOTED OTHERWISE. NO PANEL SHALL BE LESS THAN 4" WIDE
7. SEE MEP PLANS FOR ADDITIONAL MECHANICAL, ELECTRICAL, AND PLUMBING NOTES.
8. ALL BULKHEAD HEIGHTS AT NON-CABINERY LOCATIONS, SEE FINISH SCHEDULE.
9. REFER TO INTERIOR ELEVATIONS AND RCP FOR UNDER CABINET LIGHTING LOCATIONS.
10. REFER TO ROOM FINISH KEY AND SCHEDULE FOR ACP DESIGNATIONS
11. ALL DIMENSIONS ARE FROM CENTER LINE OF FIXTURE TO FINISHED FACE OF WALL
12. PATCH AND REPAIR EXISTING CEILING AS REQUIRED THAT WAS DISTURBED DURING DEMOLITION AND/OR NEW CONSTRUCTION ACTIVITIES. PATCH AND REPAIR TO MATCH EXISTING ADJACENT CONSTRUCTION, SUPPORT SYSTEM, CEILING FINISH, PATTERN AND ELEVATION.

REFLECTED CEILING LEGEND

-  EXISTING 2X2 CEILING TILES & GRID. SEE FINISH SCHEDULE FOR TYPE
-  NEW 2X2 CEILING TILES & GRID. SEE FINISH SCHEDULE FOR TYPE
-  GYP. BD. CEILING
-  EXPOSED CEILING TO STRUCTURE
-  LINES OF CASEWORK BELOW

LIGHT FIXTURES - SEE ELECTRICAL PLANS

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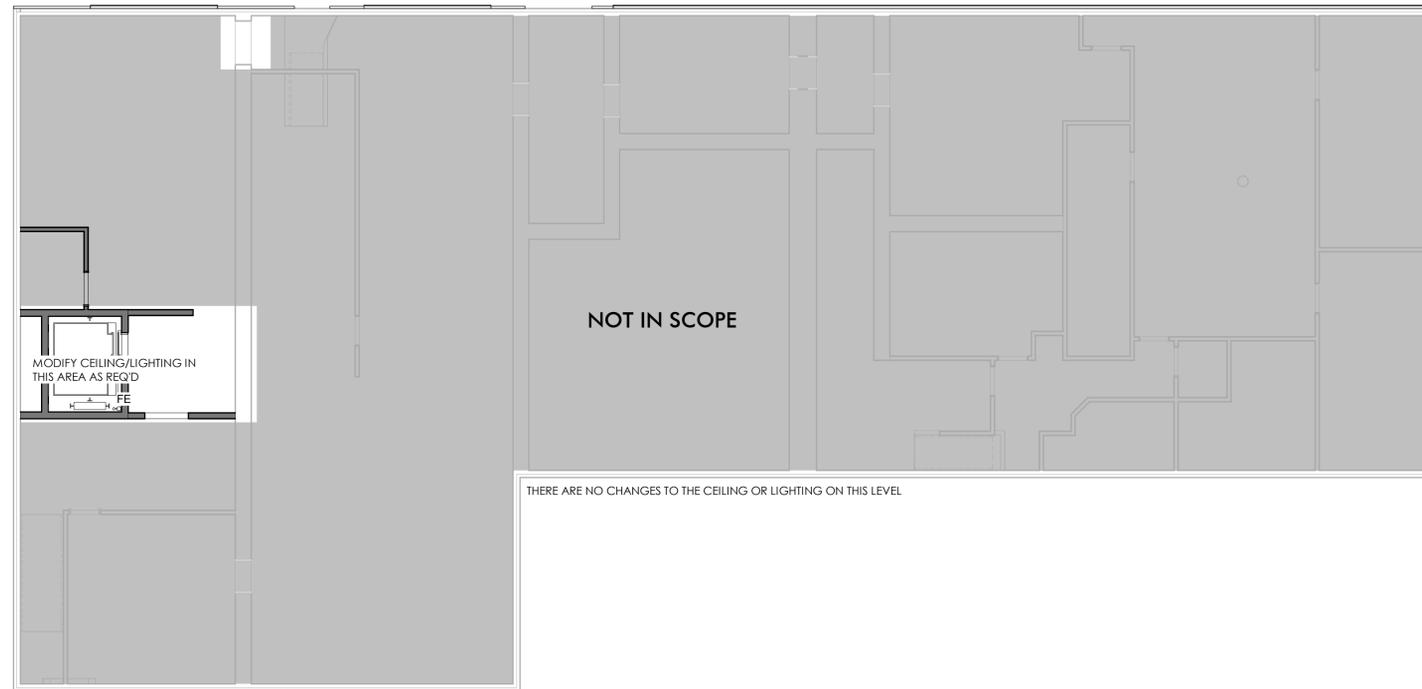
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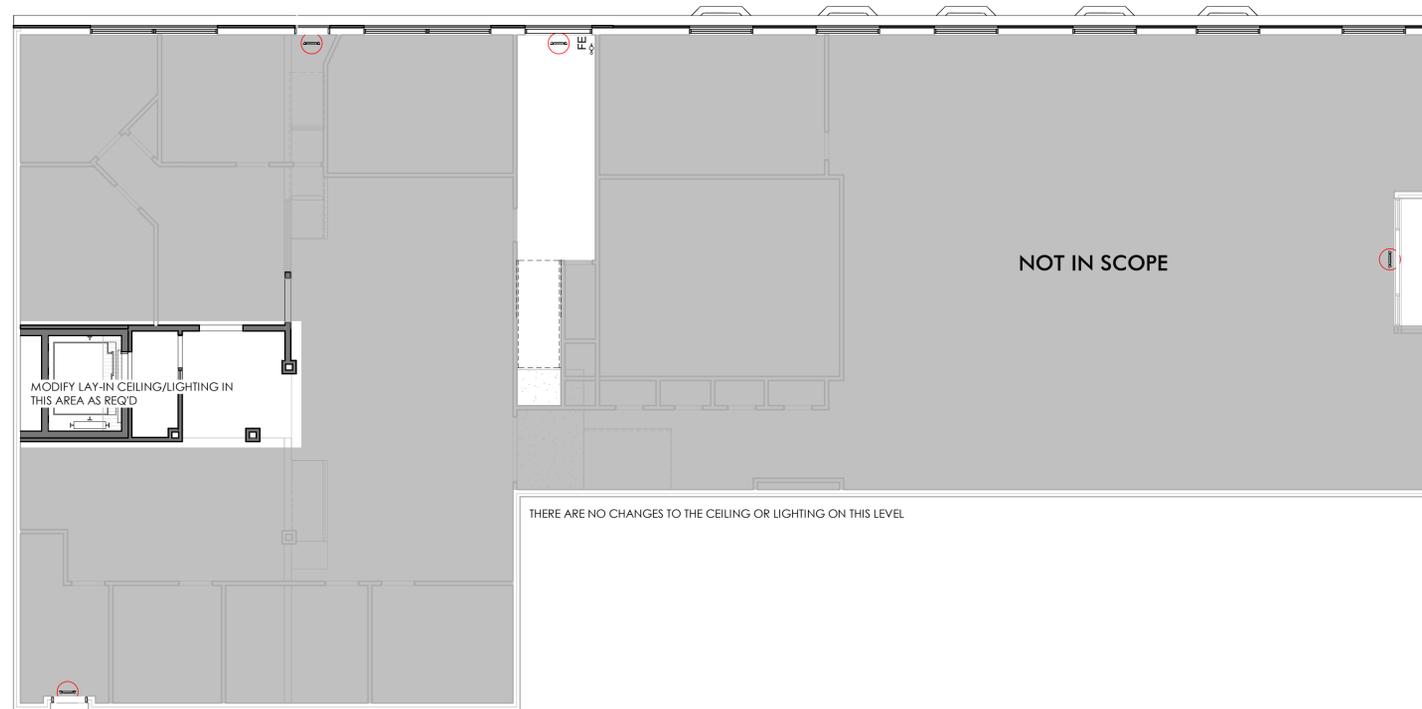
PROJECT NUMBER
2023.113

REFLECTED CEILING PLANS

A200



0 BASEMENT REFLECTED CEILING PLAN
 1/8" = 1'-0"



1 FIRST FLOOR REFLECTED CEILING PLAN
 1/8" = 1'-0"

REFLECTED CEILING GENERAL NOTES

1. ALL LIGHT SWITCHES SHALL BE SILENT TYPE, 20 AMP, WHITE COLOR WITH WHITE COVER PLATES.
2. ALL NEW LIGHT FIXTURES TO BE LED. FIXTURES AND LAYOUT ARE SHOWN SCHEMATICALLY.
3. IF CEILING HEIGHTS ARE NOT CALLED OUT, THEN THE CEILING IS EXISTING OR SHALL BE EXPOSED TO THE EXISTING STRUCTURE ABOVE. CONFIRM WITH ARCHITECT
4. COORDINATE LIGHT FIXTURE, MECHANICAL, PLUMBING, ALONG WITH ANY OTHER SYSTEMS AS REQUIRED TO NOT INTERFERE WITH ONE ANOTHER.
5. ALL LIGHT FIXTURES AND HVAC SHALL BE CENTERED IN ALL ROOMS, 2X2 CEILING GRIDS, CLOUDS OR BETWEEN OTHER ELEMENTS OR EQUALLY SPACED UNLESS NOTED OTHERWISE.
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8. ALL BULKHEAD HEIGHTS AT NON-CABINERY LOCATIONS, SEE FINISH SCHEDULE.
9. REFER TO INTERIOR ELEVATIONS AND RCP FOR UNDER CABINET LIGHTING LOCATIONS.
10. REFER TO ROOM FINISH KEY AND SCHEDULE FOR ACP DESIGNATIONS
11. ALL DIMENSIONS ARE FROM CENTER LINE OF FIXTURE TO FINISHED FACE OF WALL
12. PATCH AND REPAIR EXISTING CEILING AS REQUIRED THAT WAS DISTURBED DURING DEMOLITION AND/OR NEW CONSTRUCTION ACTIVITIES. PATCH AND REPAIR TO MATCH EXISTING ADJACENT CONSTRUCTION, SUPPORT SYSTEM, CEILING FINISH, PATTERN AND ELEVATION.

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-  EXISTING 2X2 CEILING TILES & GRID. SEE FINISH SCHEDULE FOR TYPE
-  NEW 2X2 CEILING TILES & GRID. SEE FINISH SCHEDULE FOR TYPE
-  GYP. BD. CEILING
-  EXPOSED CEILING TO STRUCTURE
-  LINES OF CASEWORK BELOW

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LIGHT FIXTURES - SEE ELECTRICAL PLANS

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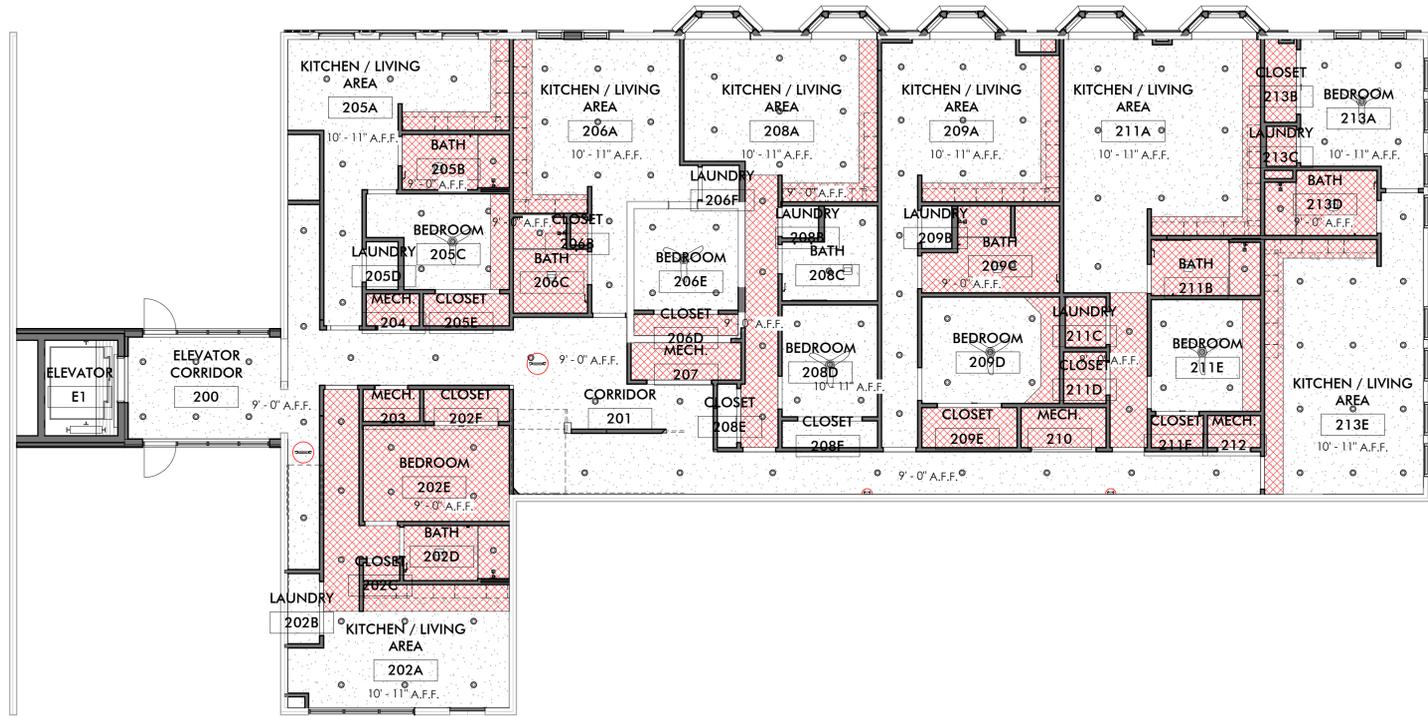
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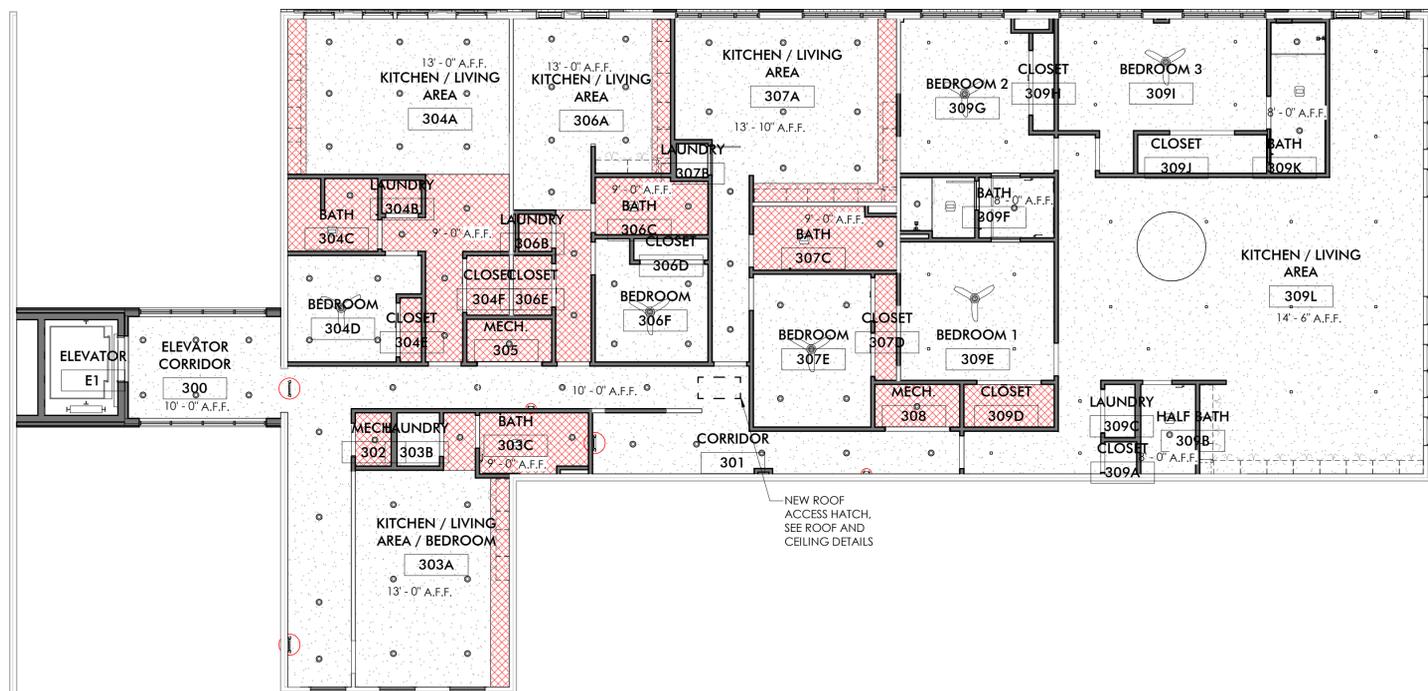
PROJECT NUMBER
2023.113

REFLECTED CEILING PLANS

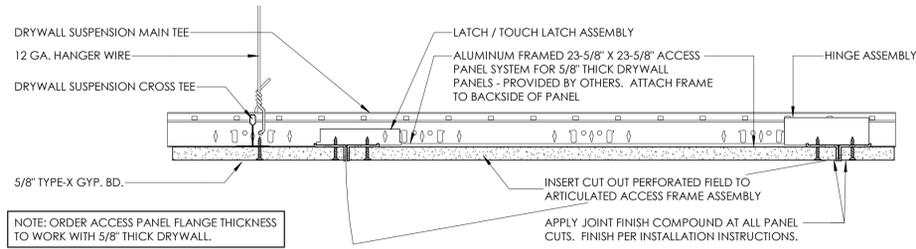
A201



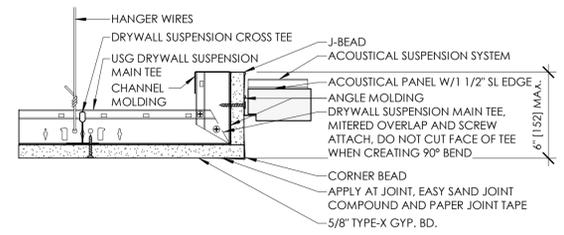
1 SECOND FLOOR REFLECTED CEILING PLAN
 1/8" = 1'-0"



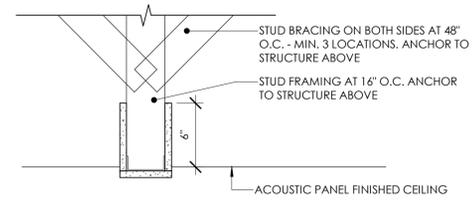
2 THIRD FLOOR REFLECTED CEILING PLAN
 1/8" = 1'-0"



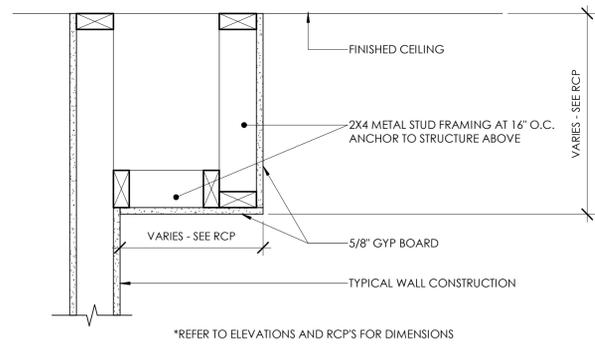
1 ACCESS PANEL DETAIL
A210 3" = 1'-0"



2 GYP. BD. TO ACT DETAIL
A210 3" = 1'-0"



3 BULKHEAD
A210 1 1/2" = 1'-0"



4 BULKHEAD - WOOD STUD
A210 1 1/2" = 1'-0"

ARCHITECT
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117 West Michigan Avenue
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cody@drivendesignstudio.com

OWNER
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123 N. Washington St.
Owosso, MI

CONSTRUCTION MANAGER/GC
First Contracting
701 S. Main St.
Ovid, MI
(989) 834-1500

ENGINEER
Igynte Design
38 Commerce St.
Grand Rapids, MI

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CEILING DETAILS
A210

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 117 West Michigan Avenue
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 cody@drivendesignstudio.com

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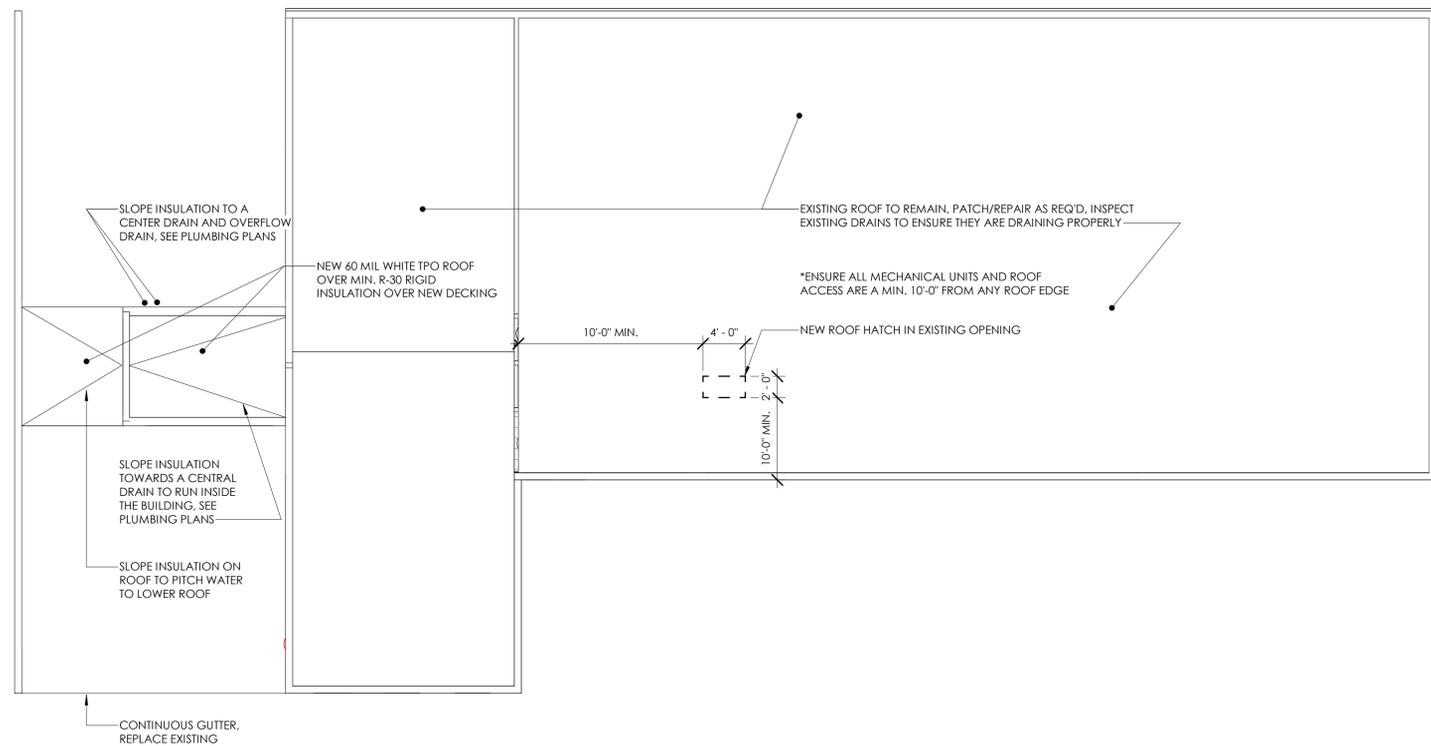
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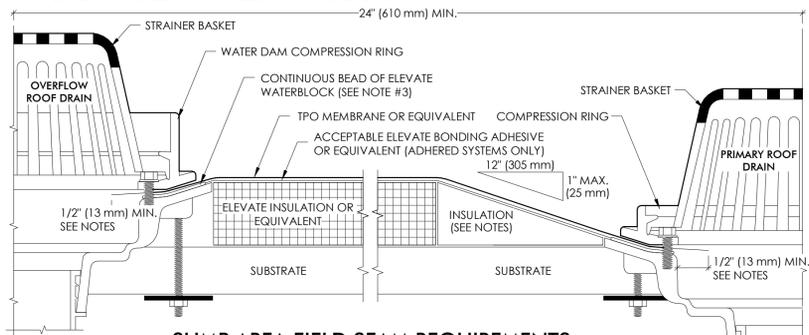
PROJECT NUMBER
2023.113

ROOF PLAN
A220



1 ROOF PLAN
 A220 1/8" = 1'-0"

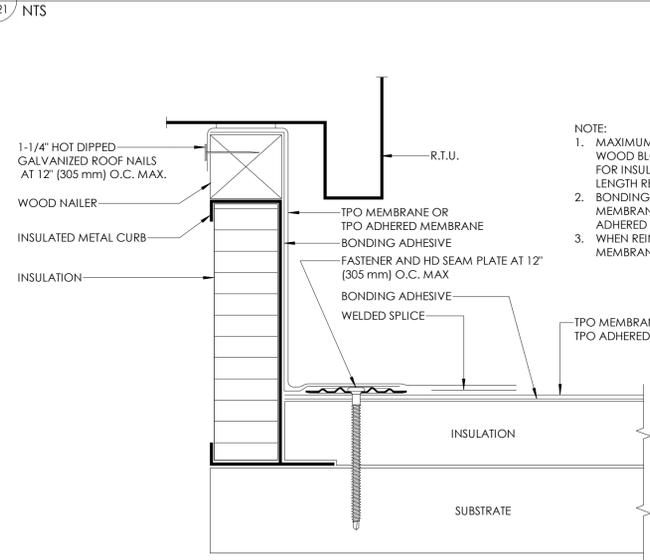
- GENERAL NOTES:**
- HOLE IN MEMBRANE SHOULD EXTEND A MINIMUM OF 1/2" (13 MM) BEYOND CLAMPING RING AND SHOULD BE LARGER THAN THE DIAMETER OF THE LEADER PIPE.
 - INSULATION ADJACENT TO THE DRAIN TO BE ELEVATE INSULATION OR EQUIVALENT WITH MANF. PROVIDED BONDING AND ADEQUATE BONDING SURFACE.
 - ELEVATE WATERBLOCK OR EQUIVALENT MIN 1/2 OF 10 OZ. (295 ML) TUBE PER 4' DRAIN. USE ADDITIONAL WATERBLOCK FOR LARGER DRAINS.



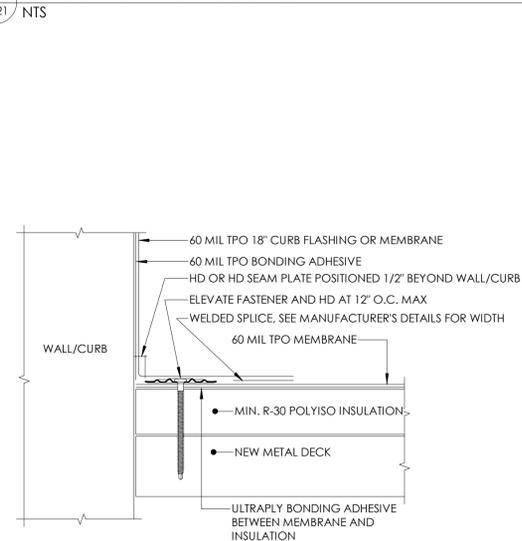
SUMP AREA FIELD SEAM REQUIREMENTS

- IF FIELD SEAM EDGE IS WITHIN 9" (229 mm) OF DRAIN COMPRESSION RING, TPO TARGET PATCH REQUIRED.
- IF FIELD SEAM EDGE IS WITHIN 9" (229 mm) TO 18" (457 mm) OF DRAIN COMPRESSION RING, HEAT WELD A LAYER OF TPO FLASHING (UNSUPPORTED) CENTERED OVER SEAM EDGE. FLASHING MUST EXTEND 3" (76 mm) MIN. BEYOND EDGE OF SUMP.

1 ROOF DRAIN WITH OVERFLOW DETAIL



5 RUBBER ROOF CURB DETAIL



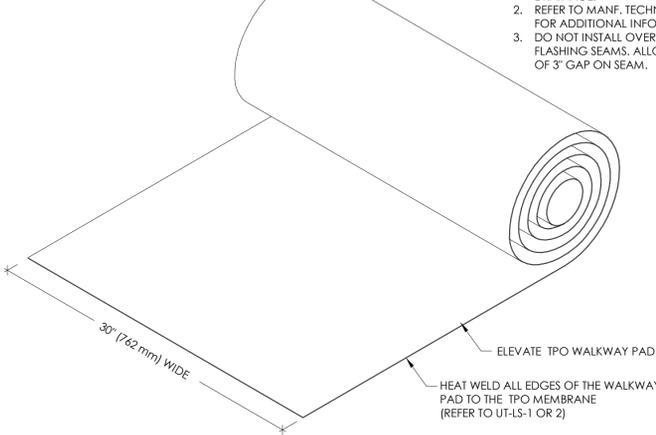
9 ROOF BASE DETAIL

A221 NTS

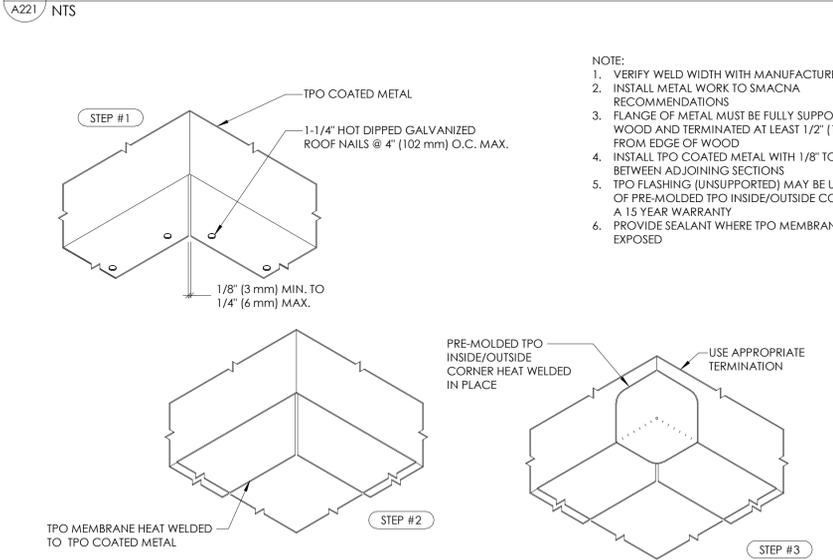
SLOPE
1 1/2" MIN.

WHEN POLYESTER REINFORCEMENT OF TPO IS EXPOSED, APPLY CUT EDGE TREATMENT TO ENTIRE EXPOSED EDGE.

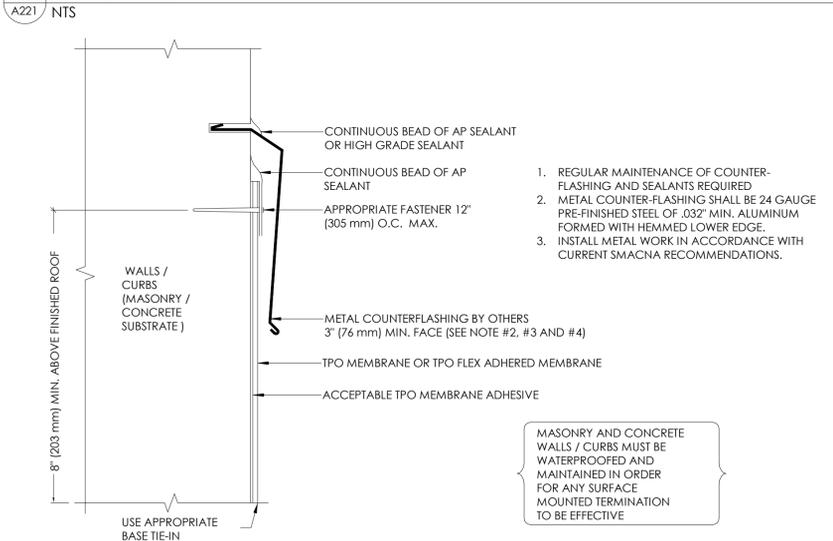
3 ROOF SEAM DETAIL



2 WALKWAY PAD



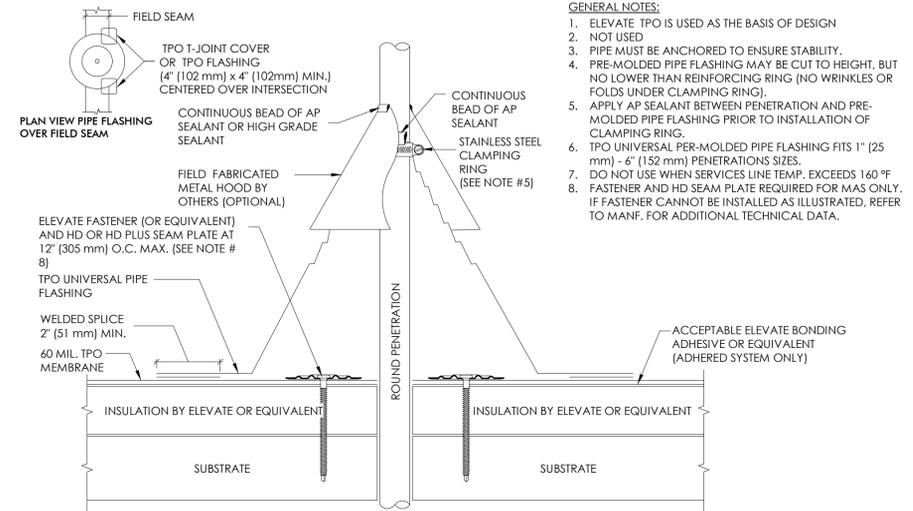
6 TPO CORNER



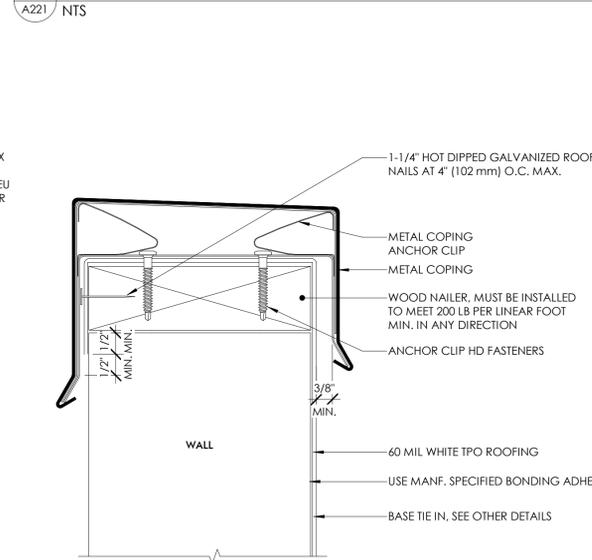
10 ROOF BASE REGLET

A221 NTS

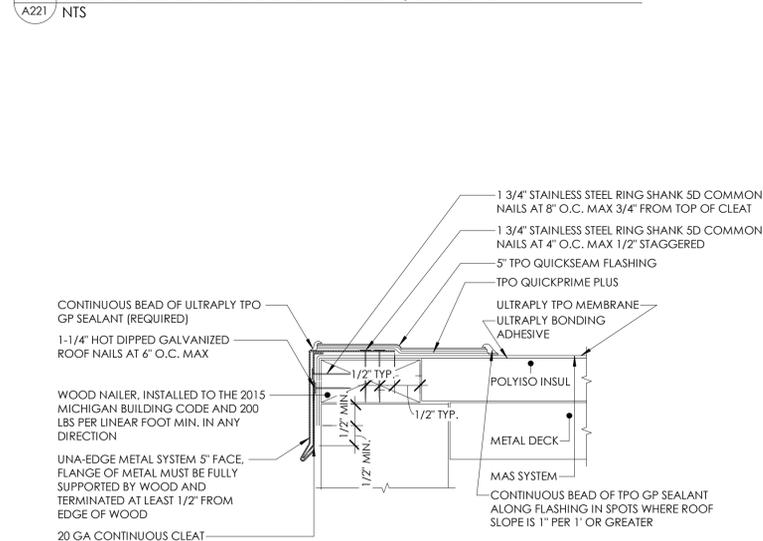
- GENERAL NOTES:**
- 10' MAXIMUM LENGTH WALKWAY SECTIONS, SPACED APPROXIMATELY 1' (25 mm) MIN. TO 3" (76 mm) MAX TO ALLOW FOR DRAINAGE.
 - REFER TO MANF. TECHNICAL INFORMATION FOR ADDITIONAL INFORMATION.
 - DO NOT INSTALL OVER MEMBRANE OR FLASHING SEAMS. ALLOW FOR A MINIMUM OF 3" GAP ON SEAM.



4 PIPE PENETRATION FLASHING DETAIL



7 TERMINATION AT TOP OF WALL W/COPING

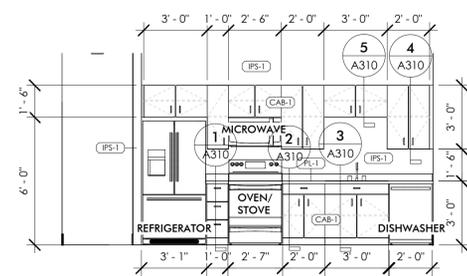


8 ROOF EDGE DETAIL

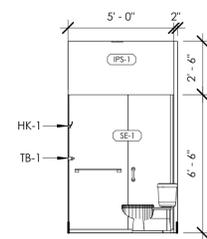
A221 NTS

GENERAL NOTES

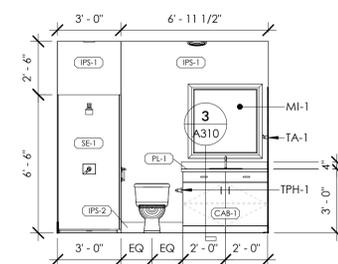
1. REFER TO ROOM FINISH SCHEDULE FOR BASE DESIGNATIONS
2. ACTUAL GROMMET LOCATIONS TO BE DETERMINED BY OWNER. SEE ROOM FINISH SCHEDULE FOR GROMMET COLORS. PROVIDE GROMMETS AT ALL KNEE SPACE LOCATIONS
3. PROVIDE FILLER PIECES AT CASEWORK AS REQUIRED
4. LAMINATE ALL VISIBLE SURFACES OF CASEWORK TYP.
5. DRAWERS LABELED "FILES" ARE TO HAVE STEEL RAILS FOR HANGING FILES. (2) PER DRAWER. FILES SHOULD HANG PERPENDICULAR TO DRAWER FACE IF LESS THAN 15" WIDE AND PARALLEL TO DRAWER IF GREATER THAN 15" WIDE
6. ALL UPPER CABINETS TO BE 15" DEEP UNLESS NOTED OTHERWISE
7. PROVIDE INSULATED PIPE WRAP ON ALL EXPOSED PIPING.
8. SEE SHEET T002 FOR ACCESSORY MOUNTING HEIGHTS UNLESS SHOWN OTHERWISE
9. REFER TO ENLARGED PLANS FOR ADDITIONAL DIMENSIONS
10. WHERE A SPECIFIED BRACKET IS NOT INDICATED PROVIDE METAL BRACKETS AS REQUIRED TO SUPPORT COUNTERTOPS AND SHELVES. BRACKETS SHOULD BE LOCATED AT ANY UNSUPPORTED LENGTH GREATER THAN 36". PAINT BRACKETS TO MATCH ADJACENT WALL
11. REFER TO SHEET T003 - MOUNTING HEIGHTS CONTINUED FOR TOILET ROOM ACCESSORIES AND THEIR DESIGNATIONS
12. PROVIDE BLOCKING IN WALLS WHERE NECESSARY. THESE LOCATIONS CONSIST OF, BUT ARE NOT LIMITED TO THE FOLLOWING: TOILET ACCESSORIES, TACKBOARDS, HANDRAILS, WALL MOUNTED EQUIPMENT AND OWNER DESIGNATED EQUIPMENT LOCATIONS.
13. ALL EXPOSED EXTERIOR SURFACES OF CASEWORK TO BE FINISHED TO MATCH THE CASEWORK
14. PAINT GRILLES AND DIFFUSERS TO MATCH ADJACENT WALL
15. COORDINATE ALL CABINERY SIZES WITH APPLIANCES
16. ALL DIMENSIONS ARE FROM FINISHED FACE TO FINISHED FACE UNLESS INDICATED OTHERWISE
17. REFER TO SHEET A120 PARTITION TYPES FOR ISLAND PARTITIONS



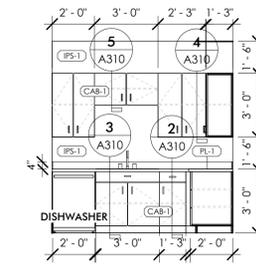
1 202A - N
A300 1/4" = 1'-0"



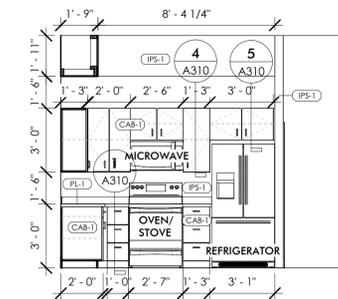
2 202D - E
A300 1/4" = 1'-0"



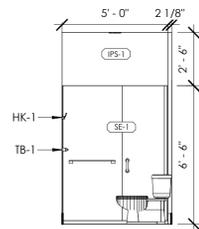
3 202D - S
A300 1/4" = 1'-0"



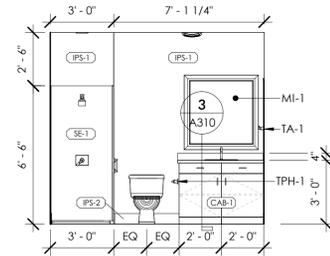
4 205A - E
A300 1/4" = 1'-0"



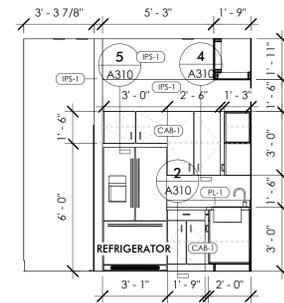
5 205A - S
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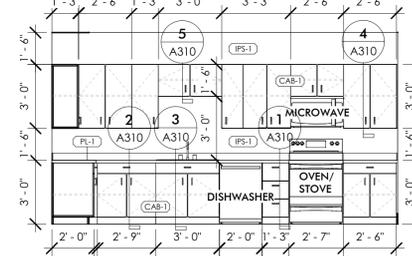
6 205B - E
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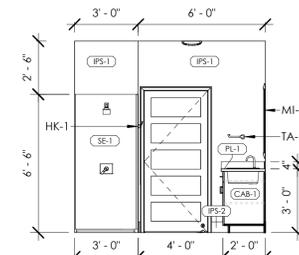
7 205B - S
A300 1/4" = 1'-0"



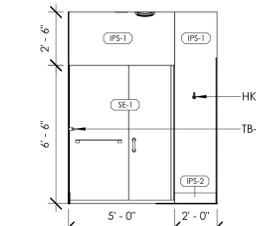
8 206A - S
A300 1/4" = 1'-0"



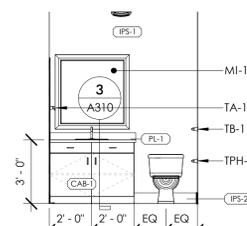
9 206A - W
A300 1/4" = 1'-0"



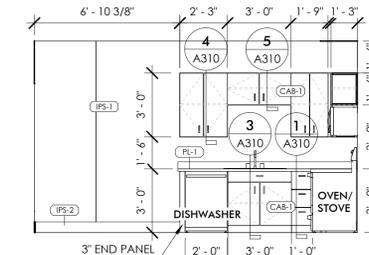
10 206C - E
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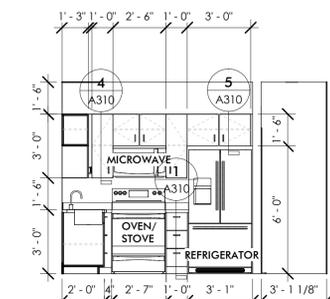
11 206C - N
A300 1/4" = 1'-0"



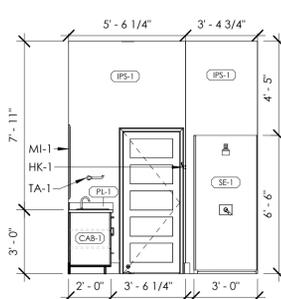
12 206C - S
A300 1/4" = 1'-0"



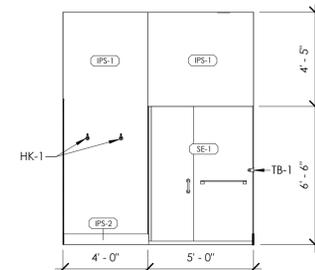
13 208A - E
A300 1/4" = 1'-0"



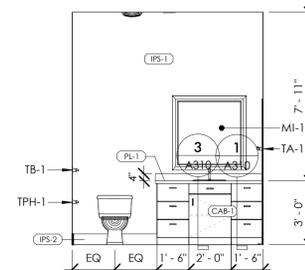
14 208A - S
A300 1/4" = 1'-0"



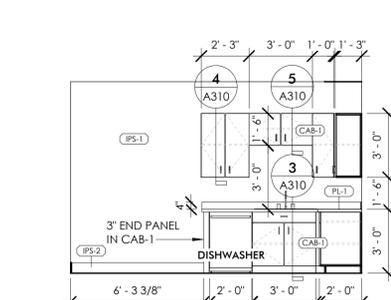
15 208C - W
A300 1/4" = 1'-0"



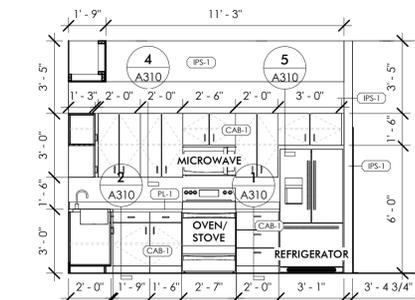
16 208C - N
A300 1/4" = 1'-0"



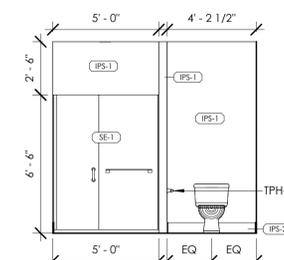
17 208C - S
A300 1/4" = 1'-0"



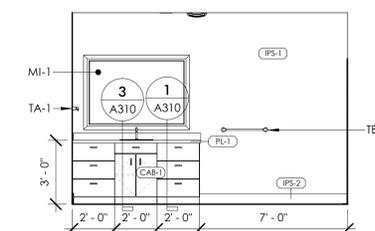
18 209A - E
A300 1/4" = 1'-0"



19 209A - S
A300 1/4" = 1'-0"



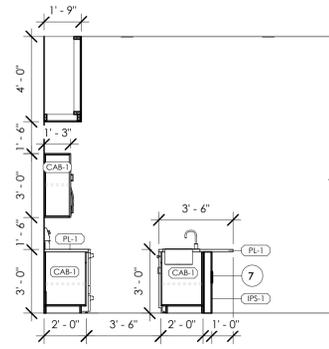
20 209C - N
A300 1/4" = 1'-0"



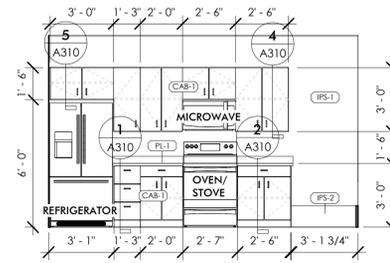
21 209C - S
A300 1/4" = 1'-0"

GENERAL NOTES

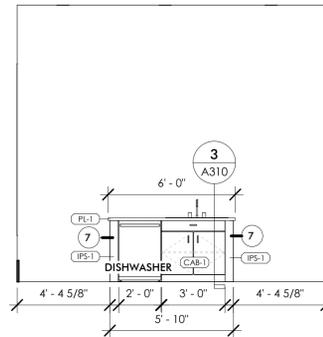
1. REFER TO ROOM FINISH SCHEDULE FOR BASE DESIGNATIONS
2. ACTUAL GROMMET LOCATIONS TO BE DETERMINED BY OWNER. SEE ROOM FINISH SCHEDULE FOR GROMMET COLORS. PROVIDE GROMMETS AT ALL KNEE SPACE LOCATIONS
3. PROVIDE FILLER PIECES AT CASEWORK AS REQUIRED
4. LAMINATE ALL VISIBLE SURFACES OF CASEWORK TYP.
5. DRAWERS LABELED "FILES" ARE TO HAVE STEEL RAILS FOR HANGING FILES, (2) PER DRAWER. FILES SHOULD HANG PERPENDICULAR TO DRAWER FACE IF LESS THAN 15" WIDE AND PARALLEL TO DRAWER IF GREATER THAN 15" WIDE
6. ALL UPPER CABINETS TO BE 15" DEEP UNLESS NOTED OTHERWISE
7. PROVIDE INSULATED PIPE WRAP ON ALL EXPOSED PIPING.
8. SEE SHEET T002 FOR ACCESSORY MOUNTING HEIGHTS UNLESS SHOWN OTHERWISE
9. REFER TO ENLARGED PLANS FOR ADDITIONAL DIMENSIONS
10. WHERE A SPECIFIED BRACKET IS NOT INDICATED PROVIDE METAL BRACKETS AS REQUIRED TO SUPPORT COUNTERS AND SHELVES. BRACKETS SHOULD BE LOCATED AT ANY UNSUPPORTED LENGTH GREATER THAN 36". PAINT BRACKETS TO MATCH ADJACENT WALL
11. REFER TO SHEET T003 - MOUNTING HEIGHTS CONTINUED FOR TOILET ROOM ACCESSORIES AND THEIR DESIGNATIONS
12. PROVIDE BLOCKING IN WALLS WHERE NECESSARY. THESE LOCATIONS CONSIST OF, BUT ARE NOT LIMITED TO THE FOLLOWING: TOILET ACCESSORIES, TACKBOARDS, HANDRAILS, WALL MOUNTED EQUIPMENT AND OWNER DESIGNATED EQUIPMENT LOCATIONS.
13. ALL EXPOSED EXTERIOR SURFACES OF CASEWORK TO BE FINISHED TO MATCH THE CASEWORK
14. PAINT GRILLES AND DIFFUSERS TO MATCH ADJACENT WALL
15. COORDINATE ALL CABINERY SIZES WITH APPLIANCES
16. ALL DIMENSIONS ARE FROM FINISHED FACE TO FINISHED FACE UNLESS INDICATED OTHERWISE
17. REFER TO SHEET A120 PARTITION TYPES FOR ISLAND PARTITIONS



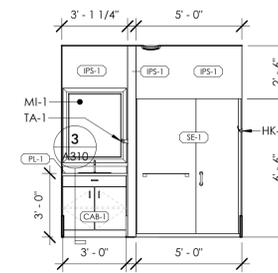
1 304A - N
 A302 1/4" = 1'-0"



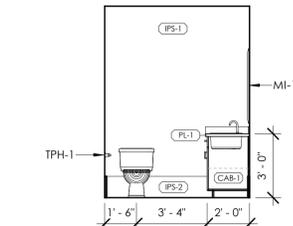
2 304A - W
 A302 1/4" = 1'-0"



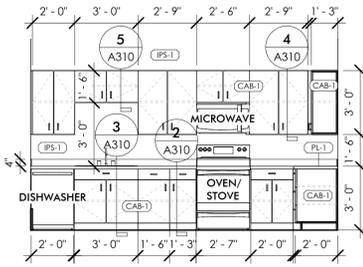
3 304A - E
 A302 1/4" = 1'-0"



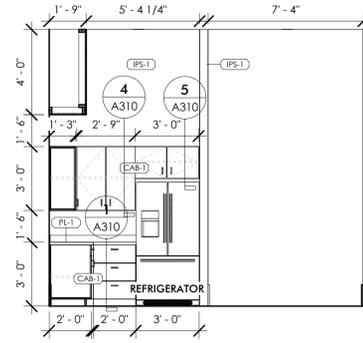
4 304C - N
 A302 1/4" = 1'-0"



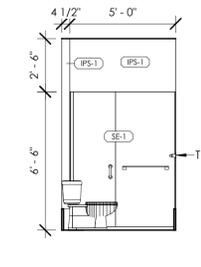
5 304C - W
 A302 1/4" = 1'-0"



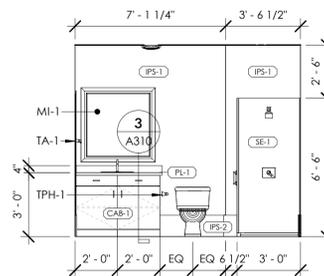
6 306A - E
 A302 1/4" = 1'-0"



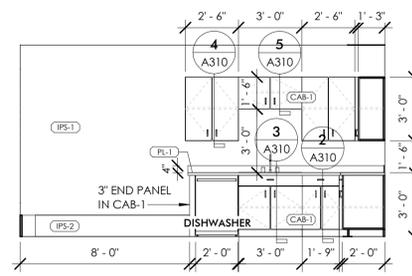
7 306A - S
 A302 1/4" = 1'-0"



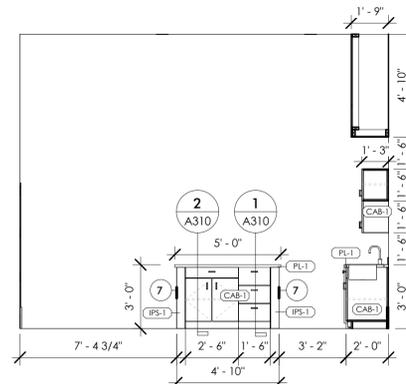
8 306C - E
 A302 1/4" = 1'-0"



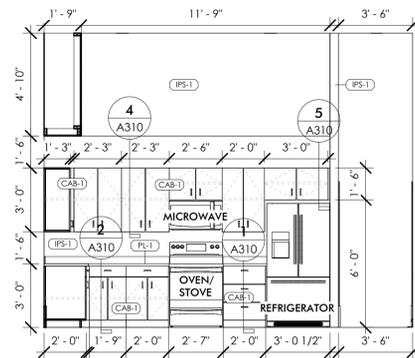
9 306C - N
 A302 1/4" = 1'-0"



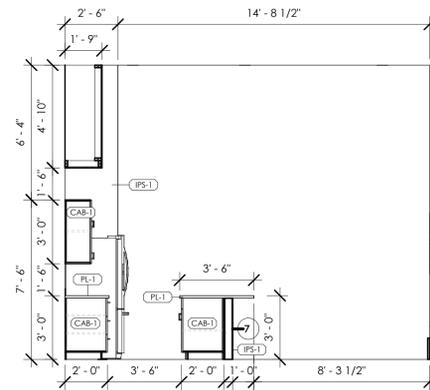
10 307A - E
 A302 1/4" = 1'-0"



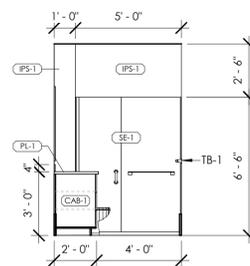
11 307A - N
 A302 1/4" = 1'-0"



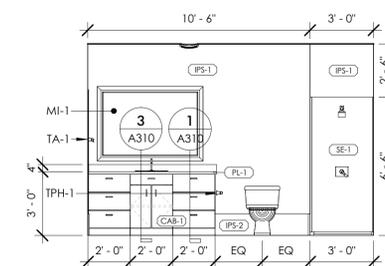
12 307A - S
 A302 1/4" = 1'-0"



13 307A - W
 A302 1/4" = 1'-0"



14 307C - E
 A302 1/4" = 1'-0"



15 307C - N
 A302 1/4" = 1'-0"

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PROJECT NAME
 123 N. WASHINGTON
 PROJECT ADDRESS
 123 N. WASHINGTON STREET, OWOSSO MI
 CLIENT
 RANDY AND JAMES WOODWORTH

ISSUE
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REVISION

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 DATE 9/29/2023 4:53:58 PM
 SCALE 1/4" = 1'-0"
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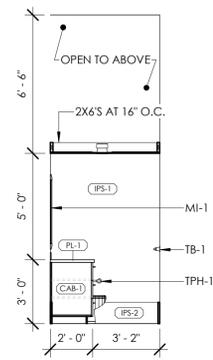
PROJECT NUMBER
 2023.113

INTERIOR ELEVATIONS

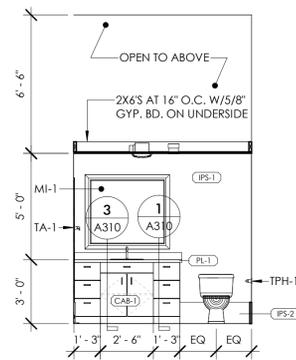
A302

GENERAL NOTES

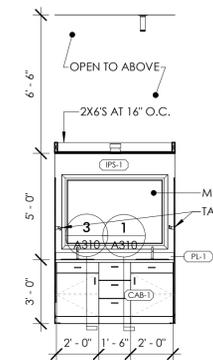
1. REFER TO ROOM FINISH SCHEDULE FOR BASE DESIGNATIONS
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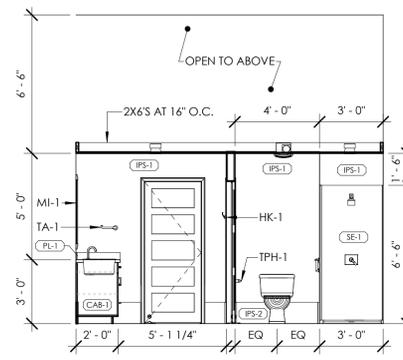
1 309B - S
 A303 1/4" = 1'-0"



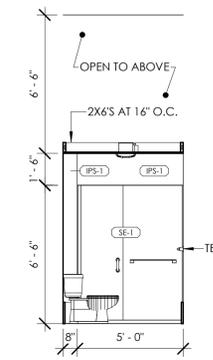
2 309B - E
 A303 1/4" = 1'-0"



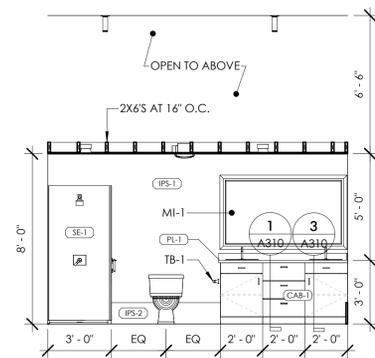
3 309F - E
 A303 1/4" = 1'-0"



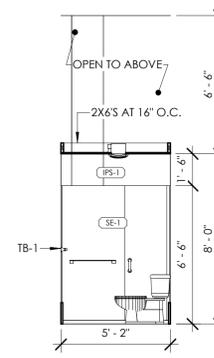
4 309F - S
 A303 1/4" = 1'-0"



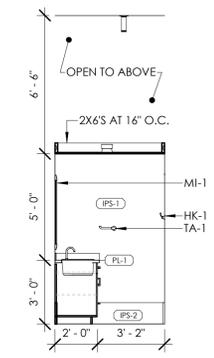
5 309F - W
 A303 1/4" = 1'-0"



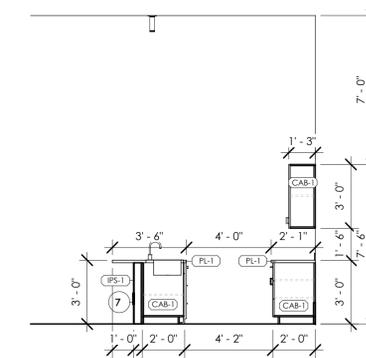
6 309K - E
 A303 1/4" = 1'-0"



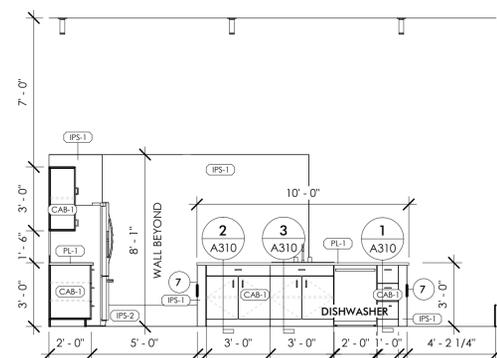
7 309K - N
 A303 1/4" = 1'-0"



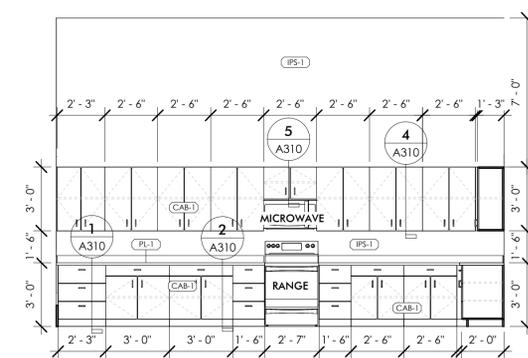
8 309K - S
 A303 1/4" = 1'-0"



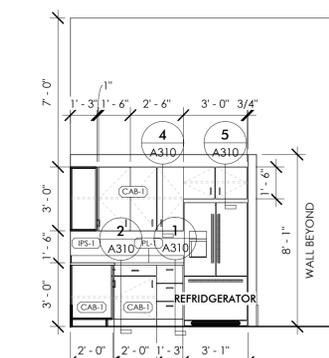
9 309L - E
 A303 1/4" = 1'-0"



10 309L - N
 A303 1/4" = 1'-0"



11 309L - S
 A303 1/4" = 1'-0"



12 309L - W
 A303 1/4" = 1'-0"

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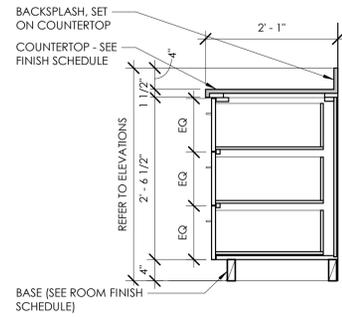
REVISION

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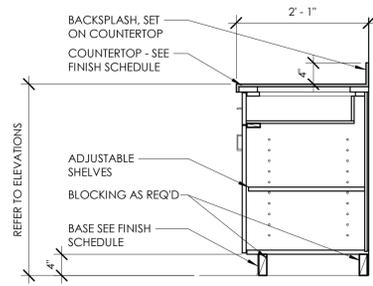
PROJECT NUMBER
 2023.113

INTERIOR ELEVATIONS

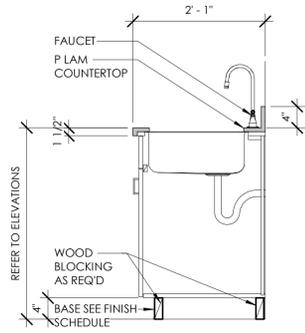
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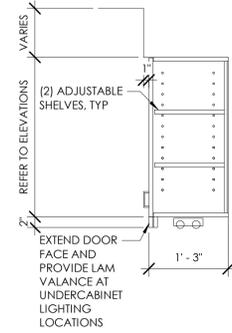
1 BASE - 3 EQ DRAWER
 A310 3/4" = 1'-0"



2 BASE - DOOR/DRAWER
 A310 3/4" = 1'-0"



3 SINK - BASE
 A310 3/4" = 1'-0"



4 UPPER CABINET
 A310 3/4" = 1'-0"



5 UPPER CABINET
 A310 3/4" = 1'-0"

GENERAL NOTES

1. ALL BASE CABINET DEPTHS TO BE 2'-0" (WALL TO OUTSIDE DOOR FACE) UNLESS NOTED OTHERWISE.
2. ALL WALL CABINET DEPTHS TO BE 1'-3" (WALL TO DOOR FACE) UNLESS NOTED OTHERWISE
3. ALL COUNTERTOP DEPTHS TO BE 2'-1" UNLESS NOTED OTHERWISE. COUNTERS TO EXTEND 1" BEYOND OPEN END EDGE OF MILLWORK UNLESS NOTED OTHERWISE
4. REFER TO INTERIOR ELEVATIONS FOR DIMENSIONS OF ALL CABINETRY
5. REFER TO FINISH SCHEDULES FOR MILLWORK FINISH
6. REFER TO FINISH SCHEDULES FOR COUNTERTOP MATERIAL AND FINISH
7. ALL BASE CABINETS TO HAVE A SINGLE SHELF UNLESS NOTED OTHERWISE
8. ALL WALL/VALANCE CABINETS LESS THAN 2'-0" IN HEIGHT TO HAVE A SINGLE SHELF, AND GREATER THAN 2'-0" IN HEIGHT TO HAVE TWO SHELVES, UNLESS NOTED OTHERWISE
9. ALL SHELVES TO BE ADJUSTABLE UNLESS NOTED OTHERWISE
10. REFER TO INTERIOR ELEVATION FOR INDICATION OF LOCKABLE CABINETS
11. REFER TO INTERIOR ELEVATIONS FOR DOOR SWINGS
12. ALL WALL CABINETS TO BE MOUNTED 7'-6" AFF TO TOP OF CABINET UNLESS NOTED OTHERWISE
13. DOOR HANDLE PULLS ARE SHOWN FOR GRAPHICAL REFERENCE ONLY. REFER TO ROOM FINISH SCHEDULE
14. ALL BASE DRAWERS/ APRONS ARE 6" UNLESS NOTED OTHERWISE
15. ALL SPLASHES ARE 4" UNLESS NOTED OTHERWISE
16. ALL EXPOSED EXTERIOR SURFACES OF CASEWORK TO BE FINISHED TO MATCH THE CASEWORK

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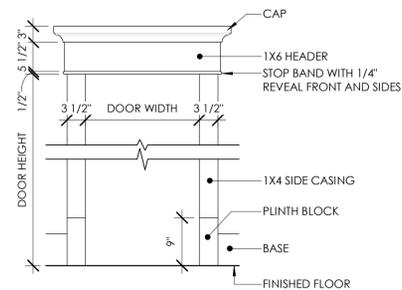
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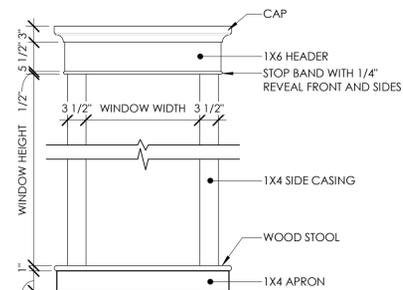
PROJECT NUMBER
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INTERIOR DETAILS

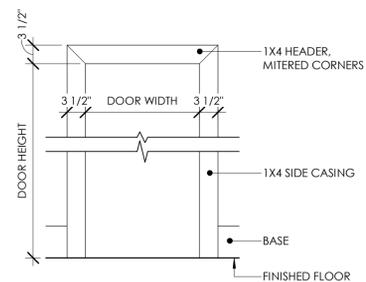
A310



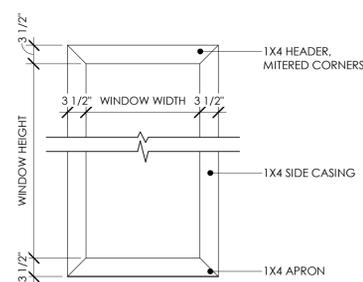
WOOD DOOR FRAME



WOOD INTERIOR WINDOW FRAME



WOOD DOOR FRAME



WOOD INTERIOR WINDOW FRAME

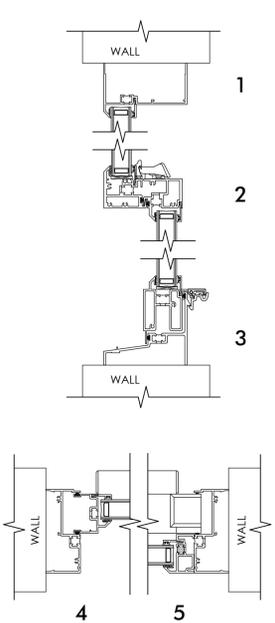


6 BASEBOARDS
 A310 3" = 1'-0"

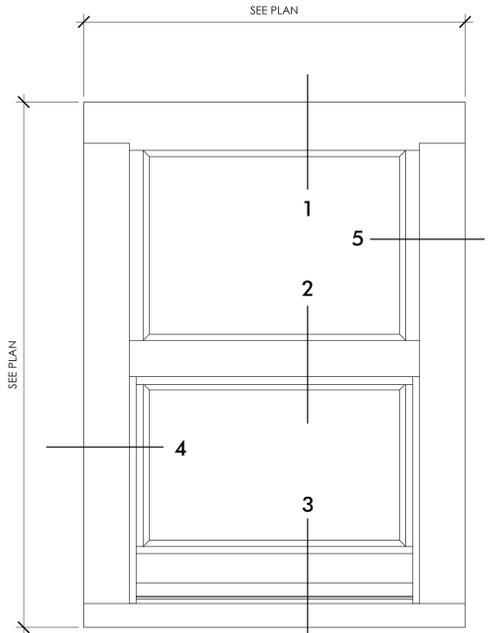
DOOR AND WINDOW FRAME DETAILS
 3/4" = 1'-0"

DOOR SCHEDULE																
DOOR NUMBER	ROOM NUMBER	ROOM NAME	NEW OR EXIST	DOOR TYPE	DOOR				DOOR FRAME			DOOR FRAME DETAILS			HDWR SET	COMMENTS
					WIDTH	HEIGHT	THICKNESS	DOOR MATL	DOOR FINISH	TYPE	FRAME MATL	FRAME FINISH	HEAD	JAMB		
FIRST FLOOR																
100			EXIST	F	3'-0"	6'-8"	1 3/4"	WD				H.M.				
100			NEW	F	3'-0"	7'-0"	1 3/4"	WD				H.M.	IPS-2	4/A400	5/A400	
101			NEW	MS	3'-0"	7'-0"	1 3/4"	ALUM.		1		ALUM.		6/A400	6/A400	
102			EXIST	F	3'-0"	6'-8"	1 3/4"	WD				H.M.				
103			EXIST	F	3'-0"	6'-8"	1 3/4"	WD				H.M.				
104			EXIST	F	3'-0"	6'-8"	1 3/4"	WD				H.M.				
105			EXIST	MS	6'-0"	7'-0"	1 3/4"	ALUM.		3		ALUM.				
106			EXIST	F	2'-6"	7'-0"	1 3/4"	WD				H.M.				
107			EXIST	F	2'-6"	7'-0"	1 3/4"	WD				H.M.				
108			EXIST	F	2'-6"	7'-0"	1 3/4"	WD				H.M.				
109			EXIST	F	2'-6"	7'-0"	1 3/4"	WD				H.M.				
110			EXIST	F	2'-6"	7'-0"	1 3/4"	WD				H.M.				
111			EXIST	MS	6'-0"	7'-0"	1 3/4"	ALUM.				ALUM.				
112			EXIST	MS	3'-0"	7'-0"	1 3/4"	ALUM.		1		ALUM.				
113			EXIST	F	3'-0"	6'-8"	1 3/4"	WD				H.M.				
114			EXIST	F	3'-0"	6'-8"	1 3/4"	WD				H.M.				
115			EXIST	F	2'-6"	6'-8"	1 3/4"	WD				H.M.				
116			EXIST	F	3'-0"	6'-8"	1 3/4"	WD				H.M.				
117			EXIST	F	2'-6"	7'-0"	1 3/4"	WD				H.M.				
118			EXIST	F	3'-0"	6'-8"	1 3/4"	WD				H.M.				
119			NEW	F	3'-0"	7'-0"	1 3/4"	WD		2		H.M.		7/A400	8/A400	3/A400
SECOND FLOOR																
200	202A	KITCHEN / LIVING AREA	NEW	BYF	5'-0"	6'-8"	1 3/8"	WD	IPS-2	3	WD	IPS-2	4/A400	5/A400		
201	202D	BATH	NEW	SP	2'-8"	6'-8"	1 3/8"	WD	IPS-2	1	WD	IPS-2	4/A400	5/A400		
202	202A	KITCHEN / LIVING AREA	NEW	SP	2'-8"	6'-8"	1 3/8"	WD	IPS-2	1	WD	IPS-2	4/A400	5/A400		
203	202E	BEDROOM	NEW	SP	3'-0"	6'-8"	1 3/8"	WD	IPS-2	1	WD	IPS-2	4/A400	5/A400		
204	201	CORRIDOR	NEW	F	6'-0"	6'-8"	1 3/8"	WD	IPS-2	3	H.M.	IPS-2	1/A400	2/A400		
204	202F	CLOSET	NEW	BYF	6'-0"	6'-8"	1 3/8"	WD	IPS-2	3	WD	IPS-2	4/A400	5/A400		
205	201	CORRIDOR	NEW	F	3'-0"	7'-0"	1 3/4"	WD	IPS-2	1	H.M.	IPS-2	1/A400	2/A400		
206	202A	KITCHEN / LIVING AREA	NEW	SP	3'-0"	6'-8"	1 3/8"	WD	IPS-2	1	WD	IPS-2	4/A400	5/A400		
208	201	CORRIDOR	NEW	SP	3'-0"	6'-8"	1 3/8"	WD	IPS-2	1	WD	IPS-2	4/A400	5/A400		
209	201	CORRIDOR	NEW	F	3'-0"	7'-0"	1 3/4"	WD	IPS-2	1	H.M.	IPS-2	1/A400	2/A400		
210	205A	KITCHEN / LIVING AREA	NEW	SP	3'-0"	6'-8"	1 3/8"	WD	IPS-2	1	WD	IPS-2	4/A400	5/A400		
211	205C	BEDROOM	NEW	BYF	6'-0"	6'-8"	1 3/8"	WD	IPS-2	3	WD	IPS-2	4/A400	5/A400		
212	205C	BEDROOM	NEW	SP	2'-8"	6'-8"	1 3/8"	WD	IPS-2	1	WD	IPS-2	4/A400	5/A400		
213	205B	BATH	NEW	SP	2'-8"	6'-8"	1 3/8"	WD	IPS-2	1	WD	IPS-2	4/A400	5/A400		
214	206A	KITCHEN / LIVING AREA	NEW	SP	2'-0"	6'-8"	1 3/8"	WD	IPS-2	1	WD	IPS-2	4/A400	5/A400		
215	206C	BATH	NEW	SP	3'-0"	6'-8"	1 3/8"	WD	IPS-2	1	WD	IPS-2	4/A400	5/A400		
216	206A	KITCHEN / LIVING AREA	NEW	SP	3'-0"	6'-8"	1 3/8"	WD	IPS-2	1	WD	IPS-2	4/A400	5/A400		
217	201	CORRIDOR	NEW	F	6'-0"	6'-8"	1 3/8"	WD	IPS-2	3	H.M.	IPS-2	1/A400	2/A400		
218	206D	CLOSET	NEW	BYF	6'-0"	6'-8"	1 3/8"	WD	IPS-2	3	WD	IPS-2	4/A400	5/A400		
219	206F	LAUNDRY	NEW	SP	3'-0"	6'-8"	1 3/8"	WD	IPS-2	1	WD	IPS-2	4/A400	5/A400		
220	208A	KITCHEN / LIVING AREA	NEW	SP	2'-8"	6'-8"	1 3/8"	WD	IPS-2	1	WD	IPS-2	4/A400	5/A400		
221	208C	BATH	NEW	SP	2'-8"	6'-8"	1 3/8"	WD	IPS-2	1	WD	IPS-2	4/A400	5/A400		
222	208D	BEDROOM	NEW	SP	3'-0"	6'-8"	1 3/8"	WD	IPS-2	1	WD	IPS-2	4/A400	5/A400		
223	208E	CLOSET	NEW	BYF	5'-0"	6'-8"	1 3/8"	WD	IPS-2	3	WD	IPS-2	4/A400	5/A400		
224	208A	KITCHEN / LIVING AREA	NEW	SP	3'-0"	6'-8"	1 3/8"	WD	IPS-2	1	WD	IPS-2	4/A400	5/A400		
225	208F	CLOSET	NEW	BYF	6'-0"	6'-8"	1 3/8"	WD	IPS-2	3	WD	IPS-2	4/A400	5/A400		
226	209A	KITCHEN / LIVING AREA	NEW	SP	3'-0"	6'-8"	1 3/8"	WD	IPS-2	1	WD	IPS-2	4/A400	5/A400		
227	209D	BEDROOM	NEW	SP	3'-0"	6'-8"	1 3/8"	WD	IPS-2	1	WD	IPS-2	4/A400	5/A400		
228	209E	CLOSET	NEW	BYF	6'-0"	6'-8"	1 3/8"	WD	IPS-2	3	WD	IPS-2	4/A400	5/A400		
229	209C	BATH	NEW	SP	3'-0"	6'-8"	1 3/8"	WD	IPS-2	1	WD	IPS-2	4/A400	5/A400		
230	209A	KITCHEN / LIVING AREA	NEW	SP	3'-0"	6'-8"	1 3/8"	WD	IPS-2	1	WD	IPS-2	4/A400	5/A400		
231	211B	BATH	NEW	SP	2'-8"	6'-8"	1 3/8"	WD	IPS-2	1	WD	IPS-2	4/A400	5/A400		
232	211A	KITCHEN / LIVING AREA	NEW	SP	3'-0"	6'-8"	1 3/8"	WD	IPS-2	1	WD	IPS-2	4/A400	5/A400		
233	211A	KITCHEN / LIVING AREA	NEW	SP	3'-0"	6'-8"	1 3/8"	WD	IPS-2	1	WD	IPS-2	4/A400	5/A400		
234	211E	BEDROOM	NEW	SP	3'-0"	6'-8"	1 3/8"	WD	IPS-2	1	WD	IPS-2	4/A400	5/A400		
235	211A	KITCHEN / LIVING AREA	NEW	SP	3'-0"	6'-8"	1 3/8"	WD	IPS-2	1	WD	IPS-2	4/A400	5/A400		
236	211F	CLOSET	NEW	BYF	4'-0"	6'-8"	1 3/8"	WD	IPS-2	2	WD	IPS-2	4/A400	5/A400		
237	201	CORRIDOR	NEW	F	3'-0"	7'-0"	1 3/4"	WD	IPS-2	1	H.M.	IPS-2	1/A400	2/A400		
238	213E	KITCHEN / LIVING AREA	NEW	SP	3'-0"	6'-8"	1 3/8"	WD	IPS-2	1	WD	IPS-2	4/A400	5/A400		
239	213A	BEDROOM	NEW	SP	3'-0"	6'-8"	1 3/8"	WD	IPS-2	1	WD	IPS-2	4/A400	5/A400		
240	213D	BATH	NEW	SP	3'-0"	6'-8"	1 3/8"	WD	IPS-2	1	WD	IPS-2	4/A400	5/A400		
241	213B	CLOSET	NEW	BYF	6'-0"	6'-8"	1 3/8"	WD	IPS-2	3	WD	IPS-2	4/A400	5/A400		
242	213A	BEDROOM	NEW	SP	3'-0"	6'-8"	1 3/8"	WD	IPS-2	1	WD	IPS-2	4/A400	5/A400		
243	200	ELEVATOR CORRIDOR	NEW	MS	3'-0"	7'-0"	1 3/4"	ALUM.	IPS-2	2	ALUM.	IPS-2	6/A400	6/A400	6/A400	
244	200	ELEVATOR CORRIDOR	NEW	MS	3'-0"	7'-0"	1 3/4"	ALUM.	IPS-2	2	ALUM.	IPS-2	6/A400	6/A400	6/A400	
THIRD FLOOR																
300	303A	KITCHEN / LIVING AREA / BEDROOM	NEW	SP	3'-0"	6'-8"	1 3/8"	WD	IPS-2	1	WD	IPS-2	4/A400	5/A400		
301	303A	KITCHEN / LIVING AREA / BEDROOM	NEW	SP	3'-0"	6'-8"	1 3/8"	WD	IPS-2	1	WD	IPS-2	4/A400	5/A400		
302	303C	BATH	NEW	SP	3'-0"	6'-8"	1 3/8"	WD	IPS-2	1	WD	IPS-2	4/A400	5/A400		
303	304A	KITCHEN / LIVING AREA	NEW	SP	3'-0"	6'-8"	1 3/8"	WD	IPS-2	1	WD	IPS-2	4/A400	5/A400		
304	301	CORRIDOR	NEW	F	3'-0"	7'-0"	1 3/4"	WD	IPS-2	1	H.M.	IPS-2	1/A400	2/A400		
305	304E	CLOSET	NEW	BYF	5'-0"	6'-8"	1 3/8"	WD	IPS-2	3	WD	IPS-2	4/A400	5/A400		
306	304F	CLOSET	NEW	BYF	5'-0"	6'-8"	1 3/8"	WD	IPS-2	3	WD	IPS-2	4/A400	5/A400		
307	304D	BEDROOM	NEW	SP	3'-0"	6'-8"	1 3/8"	WD	IPS-2	1	WD	IPS-2	4/A400	5/A400		
308	304C	BATH	NEW	SP	2'-8"	6'-8"	1 3/8"	WD	IPS-2	1	WD	IPS-2	4/A400	5/A400		
309	304B	LAUNDRY	NEW	SP	3'-0"	6'-8"	1 3/8"	WD	IPS-2	1	WD	IPS-2	4/A400	5/A400		
310	306C	BATH	NEW	SP	2'-8"	6'-8"	1 3/8"	WD	IPS-2	1	WD	IPS-2	4/A400	5/A400		
311	306A	KITCHEN / LIVING AREA	NEW	SP	3'-0"	6'-8"	1 3/8"	WD	IPS-2	1	WD	IPS-2	4/A400	5/A400		
312	306F	BEDROOM	NEW	SP	3'-0"	6'-8"	1 3/8"	WD	IPS-2	1	WD	IPS-2	4/A400	5/A400		
313	306E	CLOSET	NEW	BYF	4'-0"	6'-8"	1 3/8"	WD	IPS-2	2	WD	IPS-2	4/A400	5/A400		
314	301	CORRIDOR	NEW	F	6'-0"	6'-8"	1 3/8"	WD	IPS-2	3	H.M.	IPS-2	1/A400	2/A400		
315	306A	KITCHEN / LIVING AREA	NEW	SP	3'-0"	6'-8"	1 3/8"	WD	IPS-2	1	WD	IPS-2	4/A400	5/A400		
316	306F	BEDROOM	NEW	BYF	6'-0"	6'-8"	1 3/8"	WD	IPS-2	3	WD	IPS-2	4/A400	5/A400		
317	307A	KITCHEN / LIVING AREA	NEW	SP	3'-0"	6'-8"	1 3/8"	WD	IPS-2	1	WD	IPS-2	4/A400	5/A400		
318	307E	BEDROOM	NEW	SP	3'-0"	6'-8"	1 3/8"	WD	IPS-2	1	WD	IPS-2	4/A400	5/A400		
319	307D	CLOSET	NEW	BYF	4'-0"	6'-8"	1 3/8"	WD	IPS-2	2	WD	IPS-2	4/A400	5/A400		
320	307D	CLOSET	NEW	BYF	4'-0"	6'-8"	1 3/8"	WD	IPS-2	2	WD	IPS-2	4/A400	5/A400		
321	307C	BATH	NEW	SP	3'-0"	6'-8"	1 3/8"	WD	IPS-2	1	WD	IPS-2	4/A400	5/A400		
322	307A	KITCHEN / LIVING AREA	NEW	SP	2'-8"	6'-8"	1 3/8"	WD	IPS-2	1	WD	IPS-2	4/A400	5/A400		
323	301	CORRIDOR	NEW	F	6'-0"	6'-8"	1 3/8"	WD	IPS-2	3	H.M.	IPS-2	1/A400	2/A400		
324	309L	KITCHEN / LIVING AREA	NEW	SP	3'-0"	6'-8"	1 3/8"	WD	IPS-2	1	WD	IPS-2	4/A400	5/A400		
325	309L	KITCHEN / LIVING AREA	NEW	SP	2'-8"	6'-8"	1 3/8"	WD	IPS-2	1	WD	IPS-2	4/A400	5/A400		
326	309B	HALF BATH	NEW	SP	2'-8"	6'-8"	1 3/8"	WD	IPS-2	1	WD	IPS-2	4/A400	5/A400		
327	309L	KITCHEN / LIVING AREA	NEW	F	4'-0"	6'-8"	1 3/8"	WD	IPS-2	3	H.M.	IPS-2	1/A400	2/A400		
328	309E	BEDROOM 1	NEW	BYF	6'-0"	6'-8"	1 3/8"	WD	IPS-2	3	WD	IPS-2	4/A400	5/A400		
329	309E	BEDROOM 1	NEW	SP	3'-0"	6'-8"	1 3/8"	WD	IPS-2	1	WD	IPS-2	4/A400	5/A400		
330	309E	BEDROOM 1	NEW	SP	2'-8"	6'-8"	1 3/8"	WD	IPS-2	1	WD	IPS-2	4/A400	5/A400</		

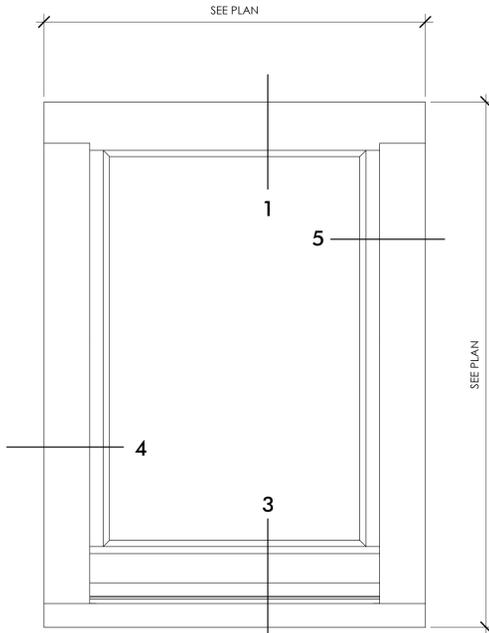
WINDOW SCHEDULE									
MARK	ROOM NUMBER	SIZE		MATL	GLAZING	DETAILS			COMMENTS
		WIDTH	HEIGHT			HEAD	JAMB	SILL	
SECOND FLOOR									
A	205A	3'-5"	5'-7"	ALUM	LOW-E	1/A410	1/A410	1/A410	PELLA ARCHITECT SERIES
A	205A	3'-5"	5'-7"	ALUM	LOW-E	1/A410	1/A410	1/A410	PELLA ARCHITECT SERIES
A	205A	3'-5"	5'-7"	ALUM	LOW-E	1/A410	1/A410	1/A410	PELLA ARCHITECT SERIES
B		3'-0"	6'-4 3/4"	ALUM	LOW-E	1/A410	1/A410	1/A410	PELLA ARCHITECT SERIES
B		3'-0"	6'-4 3/4"	ALUM	LOW-E	1/A410	1/A410	1/A410	PELLA ARCHITECT SERIES
B		3'-0"	6'-4 3/4"	ALUM	LOW-E	1/A410	1/A410	1/A410	PELLA ARCHITECT SERIES
B		3'-0"	6'-4 3/4"	ALUM	LOW-E	1/A410	1/A410	1/A410	PELLA ARCHITECT SERIES
B		3'-0"	6'-4 3/4"	ALUM	LOW-E	1/A410	1/A410	1/A410	PELLA ARCHITECT SERIES
B		3'-0"	6'-4 3/4"	ALUM	LOW-E	1/A410	1/A410	1/A410	PELLA ARCHITECT SERIES
C		2'-0"	6'-4"	ALUM	LOW-E	1/A410	1/A410	1/A410	PELLA ARCHITECT SERIES
C		2'-0"	6'-4"	ALUM	LOW-E	1/A410	1/A410	1/A410	PELLA ARCHITECT SERIES
C		2'-0"	6'-4"	ALUM	LOW-E	1/A410	1/A410	1/A410	PELLA ARCHITECT SERIES
C		2'-0"	6'-4"	ALUM	LOW-E	1/A410	1/A410	1/A410	PELLA ARCHITECT SERIES
C		2'-0"	6'-4"	ALUM	LOW-E	1/A410	1/A410	1/A410	PELLA ARCHITECT SERIES
C		2'-0"	6'-4"	ALUM	LOW-E	1/A410	1/A410	1/A410	PELLA ARCHITECT SERIES
C		2'-0"	6'-4"	ALUM	LOW-E	1/A410	1/A410	1/A410	PELLA ARCHITECT SERIES
C		2'-0"	6'-4"	ALUM	LOW-E	1/A410	1/A410	1/A410	PELLA ARCHITECT SERIES
C		2'-0"	6'-4"	ALUM	LOW-E	1/A410	1/A410	1/A410	PELLA ARCHITECT SERIES
C		2'-0"	6'-4"	ALUM	LOW-E	1/A410	1/A410	1/A410	PELLA ARCHITECT SERIES
D	213A	2'-7"	7'-1"	ALUM	LOW-E	1/A410	1/A410	1/A410	PELLA ARCHITECT SERIES
D	213A	2'-7"	7'-1"	ALUM	LOW-E	1/A410	1/A410	1/A410	PELLA ARCHITECT SERIES
D	206A	2'-7"	7'-1"	ALUM	LOW-E	1/A410	1/A410	1/A410	PELLA ARCHITECT SERIES
D	206A	2'-7"	7'-1"	ALUM	LOW-E	1/A410	1/A410	1/A410	PELLA ARCHITECT SERIES
E	213A	3'-1"	7'-1"	ALUM	LOW-E	1/A410	1/A410	1/A410	PELLA ARCHITECT SERIES
E	213A	3'-1"	7'-1"	ALUM	LOW-E	1/A410	1/A410	1/A410	PELLA ARCHITECT SERIES
E	213A	3'-1"	7'-1"	ALUM	LOW-E	1/A410	1/A410	1/A410	PELLA ARCHITECT SERIES
E	213E	3'-1"	7'-1"	ALUM	LOW-E	1/A410	1/A410	1/A410	PELLA ARCHITECT SERIES
E	213E	3'-1"	7'-1"	ALUM	LOW-E	1/A410	1/A410	1/A410	PELLA ARCHITECT SERIES
E	213E	3'-1"	7'-1"	ALUM	LOW-E	1/A410	1/A410	1/A410	PELLA ARCHITECT SERIES
E	213E	3'-1"	7'-1"	ALUM	LOW-E	1/A410	1/A410	1/A410	PELLA ARCHITECT SERIES
E	213E	3'-1"	7'-1"	ALUM	LOW-E	1/A410	1/A410	1/A410	PELLA ARCHITECT SERIES
E	213E	3'-1"	7'-1"	ALUM	LOW-E	1/A410	1/A410	1/A410	PELLA ARCHITECT SERIES
K	202A	3'-4"	6'-5"	ALUM	LOW-E	1/A410	1/A410	1/A410	PELLA ARCHITECT SERIES
SECOND FLOOR STEP UP									
L	201	2'-9"	4'-9"	ALUM	LOW-E	1/A410	1/A410	1/A410	PELLA ARCHITECT SERIES
L	201	2'-9"	4'-9"	ALUM	LOW-E	1/A410	1/A410	1/A410	PELLA ARCHITECT SERIES
THIRD FLOOR									
D	309L	2'-7"	7'-1"	ALUM	LOW-E	1/A410	1/A410	1/A410	PELLA ARCHITECT SERIES
D	309L	2'-7"	7'-1"	ALUM	LOW-E	1/A410	1/A410	1/A410	PELLA ARCHITECT SERIES
D	306A	2'-7"	7'-1"	ALUM	LOW-E	1/A410	1/A410	1/A410	PELLA ARCHITECT SERIES
D	306A	2'-7"	7'-1"	ALUM	LOW-E	1/A410	1/A410	1/A410	PELLA ARCHITECT SERIES
F	309L	2'-8"	6'-4 3/4"	ALUM	LOW-E	1/A410	1/A410	1/A410	PELLA ARCHITECT SERIES
F	309L	2'-8"	6'-4 3/4"	ALUM	LOW-E	1/A410	1/A410	1/A410	PELLA ARCHITECT SERIES
F	309L	2'-8"	6'-4 3/4"	ALUM	LOW-E	1/A410	1/A410	1/A410	PELLA ARCHITECT SERIES
F	309L	2'-8"	6'-4 3/4"	ALUM	LOW-E	1/A410	1/A410	1/A410	PELLA ARCHITECT SERIES
G	309L	2'-6"	6'-4 3/4"	ALUM	LOW-E	1/A410	1/A410	1/A410	PELLA ARCHITECT SERIES
G	309L	2'-6"	6'-4 3/4"	ALUM	LOW-E	1/A410	1/A410	1/A410	PELLA ARCHITECT SERIES
G	309L	2'-6"	6'-4 3/4"	ALUM	LOW-E	1/A410	1/A410	1/A410	PELLA ARCHITECT SERIES
G	309L	2'-6"	6'-4 3/4"	ALUM	LOW-E	1/A410	1/A410	1/A410	PELLA ARCHITECT SERIES
H	304A	2'-10 27/32"	8'-1 1/16"	ALUM	LOW-E	1/A410	1/A410	1/A410	PELLA ARCHITECT SERIES
H	304A	2'-10 27/32"	8'-1 1/16"	ALUM	LOW-E	1/A410	1/A410	1/A410	PELLA ARCHITECT SERIES
H	304A	2'-10 27/32"	8'-1 1/16"	ALUM	LOW-E	1/A410	1/A410	1/A410	PELLA ARCHITECT SERIES
H	304A	2'-10 27/32"	8'-1 1/16"	ALUM	LOW-E	1/A410	1/A410	1/A410	PELLA ARCHITECT SERIES
K	303A	3'-4"	6'-5"	ALUM	LOW-E	1/A410	1/A410	1/A410	PELLA ARCHITECT SERIES
K	303A	3'-4"	6'-5"	ALUM	LOW-E	1/A410	1/A410	1/A410	PELLA ARCHITECT SERIES
K	301	3'-4"	6'-5"	ALUM	LOW-E	1/A410	1/A410	1/A410	PELLA ARCHITECT SERIES



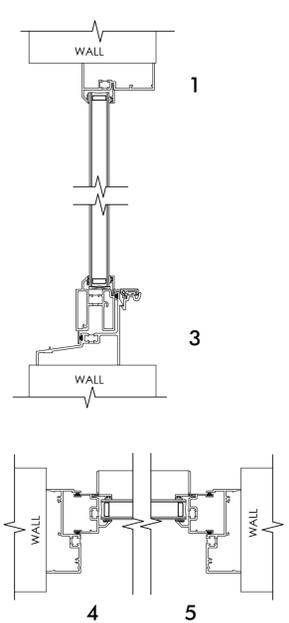
SINGLE HUNG DETAILS



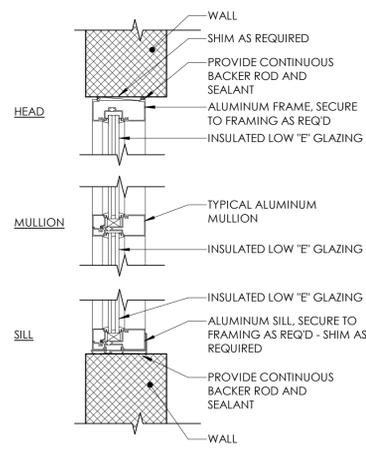
SINGLE HUNG ELEVATION



CASEMENT ELEVATION



CASEMENT DETAILS



2 ALUM WINDOW SECTION
 A410 1 1/2" = 1'-0"

PELLA ARCHITECT SERIES ARE TO BE THE BASIS OF DESIGN
 *NOTE: ALL EXISTING WINDOW PROFILES ARE TO BE VERIFIED IN THE FIELD
 AND REPLICATED AS NEW ALUM. REPLACEMENT WINDOWS BY PELLA

1 CASEWORK AND SINGLE HUNG DETAILS
 A410 1 1/2" = 1'-0"

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PROJECT NAME
 123 N. WASHINGTON
 PROJECT ADDRESS
 123 N. WASHINGTON STREET, OWOSSO MI
 CLIENT
 RANDY AND JAMES WOODWORTH

ISSUE
 PERMIT SET

REVISION

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 DATE 9/29/2023 4:54:03 PM
 SCALE 1 1/2" = 1'-0"
 STAMP

PROJECT NUMBER
 2023.113
 WINDOW SCHEDULE AND DETAILS

A410

ARCHITECT
 Driven Design Studio PLLC
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 Battle Creek, MI 49017
 (269) 753-8040
 cody@drivendesignstudio.com

OWNER
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 123 N. Washington St.
 Owosso, MI

CONSTRUCTION MANAGER/GC
 First Contracting
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ENGINEER
 Igynfe Design
 38 Commerce St.
 Grand Rapids, MI

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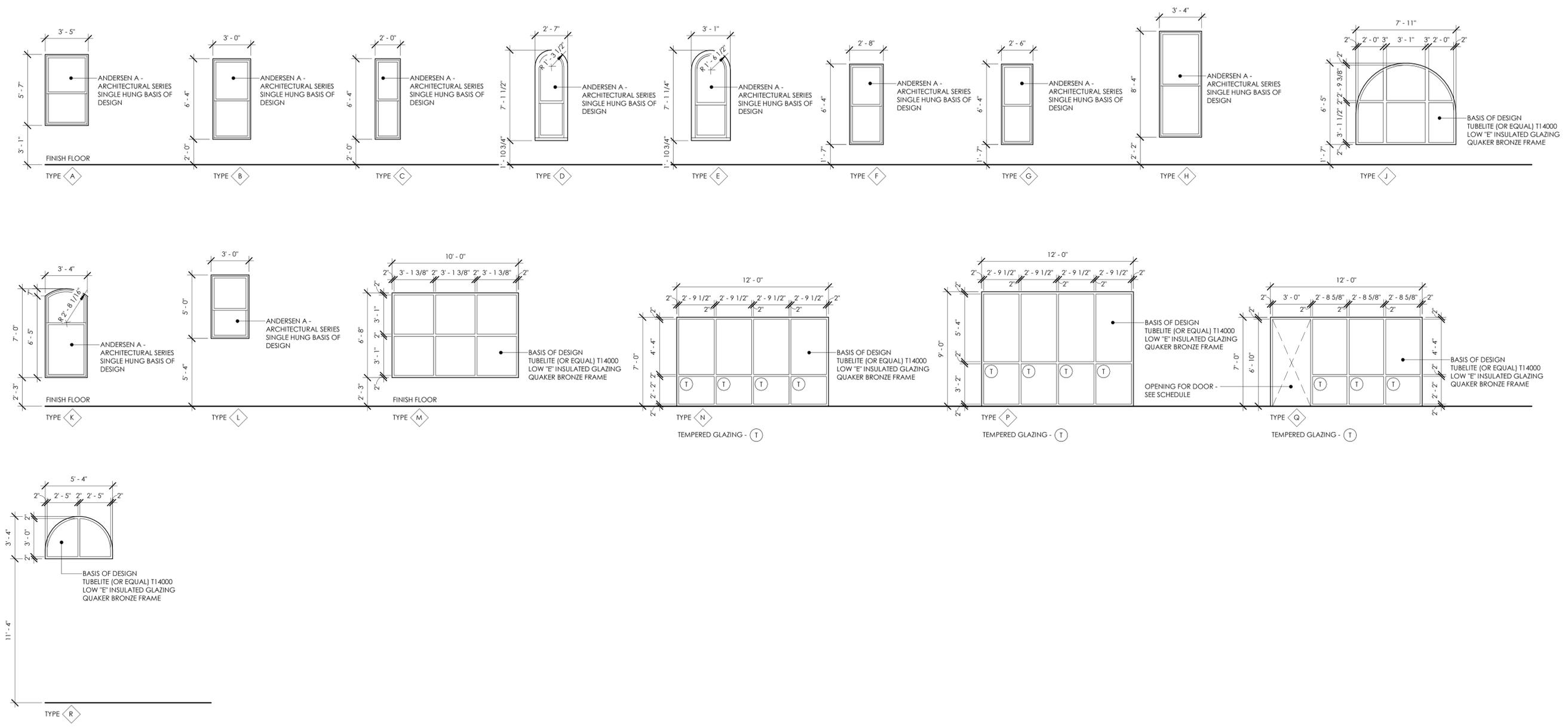
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2023.113

GLAZING ELEVATIONS
A411



1 **GLAZING ELEVATIONS**
 A411 1/4" = 1'-0"

GENERAL NOTES

- REFER TO MATERIAL LEGEND FOR EXTERIOR FINISH PANEL TYPES AND COLOR.
- REFER TO MATERIAL LEGEND FOR ROOF TYPES AND COLOR.
- ALL GLAZING SHALL BE LOW-E GLASS. TINT TO BE RECOMMENDED BY MANUFACTURER.
- ALL FINISH MATERIALS TO BE VERIFIED WITH OWNER AND ARCHITECT PRIOR TO CONSTRUCTION. ALL SUBSTITUTIONS NEED TO BE APPROVED IN WRITING.
- OVERALL ELEVATIONS SHOWN FOR REFERENCE. SEE ENLARGED DETAILS AND SPECIFICATIONS

EXTERIOR ELEVATION SYMBOL LEGEND



MASONRY NOTES

- MASONRY IS REQUIRED ON ALL THREE FACADES. MASON IS TO FIELD VERIFY ALL CONDITIONS.
- MASONRY RESTORATION CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, SUPERVISION, PROTECTION OF THE PUBLIC, EQUIPMENT AND EXPENSES REQUIRED TO COMPLETE THE WORK. THIS INCLUDES LIFTS, SCAFFOLDING, JOB TRAILER, ETC.
- THE MASONRY RESTORATION SHALL MEET THE SECRETARY OF THE INTERIORS STANDARDS FOR REHABILITATION OF HISTORIC PROPERTIES AND INCLUDE ANY WORK REQUIRED TO MEET THOSE STANDARDS WHETHER SHOWN IN THE CONSTRUCTION DOCUMENTS OR NOT. THE DRAWINGS ARE PROVIDED AS GUIDELINES FOR THIS WORK. THE MASONRY CONTRACTOR IS TO MEET WITH THE ARCHITECT TO REVIEW AND CONFIRM THE SCOPE OF WORK.
- TUCKPOINTING MOVING JOINTS: WITHIN THIS AREA PROVIDE THE PROPER SURFACE PREPARATION BUT RATHER THAN INSTALL A RIGID MORTAR, INSTALL A NEUTRAL CURE SILICONE WITH A COLOR TO MATCH. FOLLOWED BY A DRY CAST OF AGGREGATE TO MIMIC THE LOOK OF HT MORTAR BUT ALLOW FOR MINOR AMOUNTS OF MOVEMENT.
- BRICK REPLACEMENT: ONLY BRICK THAT HAS ERODED MORE THAN 1" BEYOND THE ORIGINAL FACE SHALL BE REMOVED AND REPLACED WITH AS CLOSE AS POSSIBLE MATCHING BRICK. MORTAR SELECTION FOR THIS WORK WILL BE TYPE O MORTAR.
- BRICK REBUILD: ONLY AS REQUIRED IF STRUCTURAL DAMAGE OCCURS DURING CONSTRUCTION.
- GENERAL CONTRACTOR TO PROVIDE WATER, POWER, SANITARY SERVICES AND ANY NECESSARY PERMITS FOR WORK.
- CLEAN UP: MASON TO CLEAN UP AND REMOVE ALL ITEMS ASSOCIATED WITH THEIR WORK AND DISPOSE OF PROPERLY OFF SITE.
- MASON TO PROVIDE OPENINGS FOR NEW WINDOWS AND SUPPORTING LINTELS.
- EXISTING LINTELS TO BE INSPECTED ON SITE, WHERE EXPOSED, THEY ARE TO BE WIRE BRUSHED AND COATED WITH RUSTOLEUM OR EQUIVALENT.
- SEE FLOOR PLAN AND ELEVATIONS FOR NEW WINDOW LOCATIONS.
- TUCKPOINTING: THIS WORK SHALL COVER ON THE MAJOR TUCKPOINTING AREAS WHERE MOISTURE INFILTRATION THROUGH THE BUILDING WILL BE TAKING PLACE AND/OR THERE ARE MOVEMENT CONCERNS.
- ALL MORTAR JOINTS THAT HAVE ERODED GREATER THAN 1/4" PAST THEIR ORIGINAL FACE WILL REQUIRE REPOINTING. ALL MORTAR JOINTS WITH MINOR HOLES OR VOIDS THAT CAN BE PENETRATED WITH A 1/26" DIAMETER WIRE GREATER THAN ONE HALF OF THE BRICK THICKNESS SHALL BE REPOINTED. THE FOLLOWING STEPS FOR RE-POINTING ARE OUTLINED AS FOLLOWS.
 - MORTAR MATCHING SHALL BE ACHIEVED VIA MATCHING PRE-MADE BISCUITS, FOLLOWED BY AN ONSITE MATCH VERIFIED BY THE ARCHITECT, PRIOR TO REPOINTING.
 - MIX DESIGN SHALL BE A LIME PUTTY-BASED MORTAR WITH MATCHING AGGREGATE TO ACHIEVE NATIONAL PARK STANDARDS OF PROPER BOND AND SAME OR LOWER COMPRESSIVE STRENGTH AS THE MATCHING MORTAR.
 - REMOVE DETERIORATED MORTAR (A MINIMUM DEPTH OF TWO TIMES THE WIDTH OF MORTAR JOINT). ALL PROCEDURES ARE TO FOLLOW THE CURRENT OSHA STANDARD FOR SILICA DUST CONTROL WHEN PERFORMING THIS WORK.
 - BRUSH, VACUUM OR WATER FLUSH TO REMOVE DEBRIS IN THE JOINT.
 - THROUGH CLOSE EXAMINATION DETERMINE THE EXTENT OF DETERIORATION IN THE JOINT AND SURROUNDING AREA.
 - REWORK THE JOINT AS REQUIRED.
 - BRUSH, VACUUM OR WATER FLUSH TO REMOVE DEBRIS IN THE JOINT.
 - WATER-SOAK THE BRICK (TO SATISFY THE POROSITY OR THIRST OF THE BRICK).
 - PRE-WET TO REDUCE THE AMOUNT OF INITIAL DEHYDRATION OF THE MORTAR THAT IS ABOUT TO BE REPLACED.
 - DELIVER MORTAR TO THE PREPARED JOINT. SEVERAL LAYERS MAY BE REQUIRED TO FILL THE JOINT FLUSH WITH THE OUTER SURFACE OF THE MASONRY.
 - STRIKE BACK (TOOLING THE JOINT TO MATCH THE EXISTING HISTORIC JOINT).
 - CUT BACK THE JOINT TO RECESS THE FINAL MORTAR SLIGHTLY FROM THE FACE OF THE MASONRY.
 - WAIT FOR THE MORTAR TO SET UNTIL IT IS READY TO BE COMPACTED.
 - DRY BRUSH COMPACT THE JOINTS TO ALLOW FOR FURTHER DEVELOPMENT OF A BOND BETWEEN OLD MORTAR AND BRICK.
 - PRE-WET TO SATURATE THE BRICK IN PREPARATION FOR THE LAST STEP.
 - WEATHERING WASH TO MATCH THE OLD AND NEW MASONRY.

PEEL AWAY SPECIFICATIONS: APPLY PER MANUFACTURER'S RECOMMENDATIONS. ALLOW TO SIT PER MANUFACTURER'S RECOMMENDATIONS. REMOVE WITH LOW PRESSURE HEAD ON A POWERWASHER

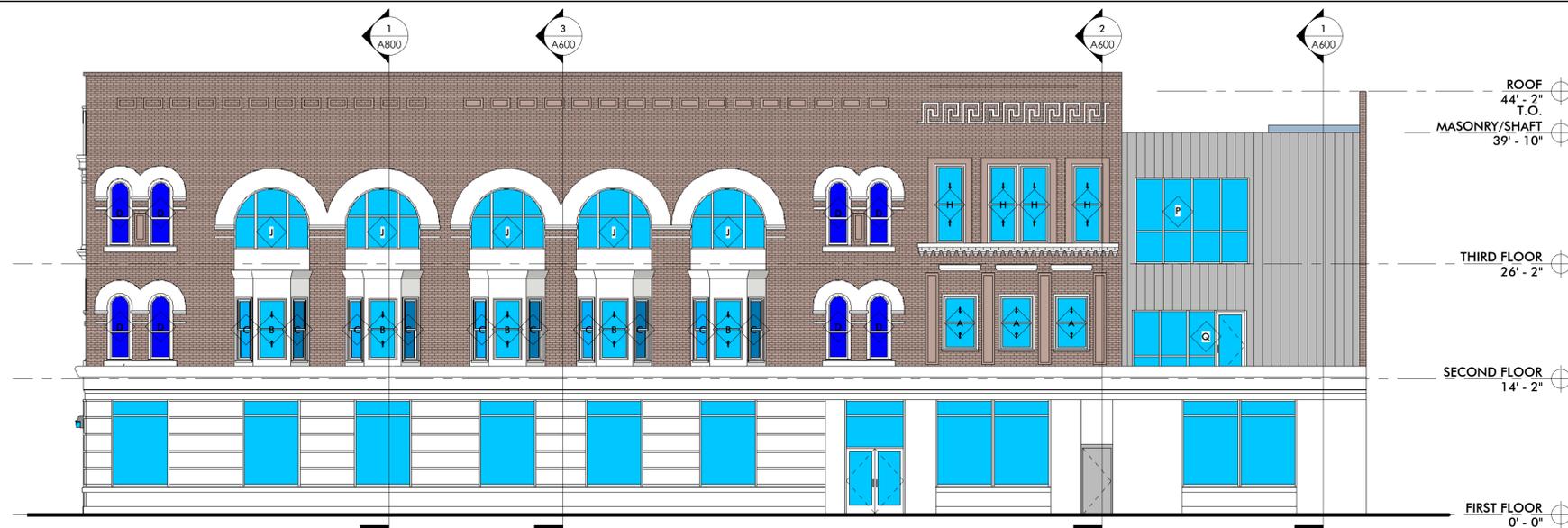
EXTERIOR SPECIFICATIONS

WINDOWS: WINDOWS ARE TO BE HISTORIC REPLICAS OF THE EXISTING HISTORIC WINDOWS. ALL WINDOWS ARE TO BE FIELD VERIFIED PRIOR TO FABRICATION. WINDOWS ARE TO FOLLOW THE PRESERVATION GUIDE LINES PROVIDED BY THE NATIONAL PARK SERVICE. PELLA ARCHITECT SERIES IS TO BE THE BASIS OF DESIGN FOR WINDOWS

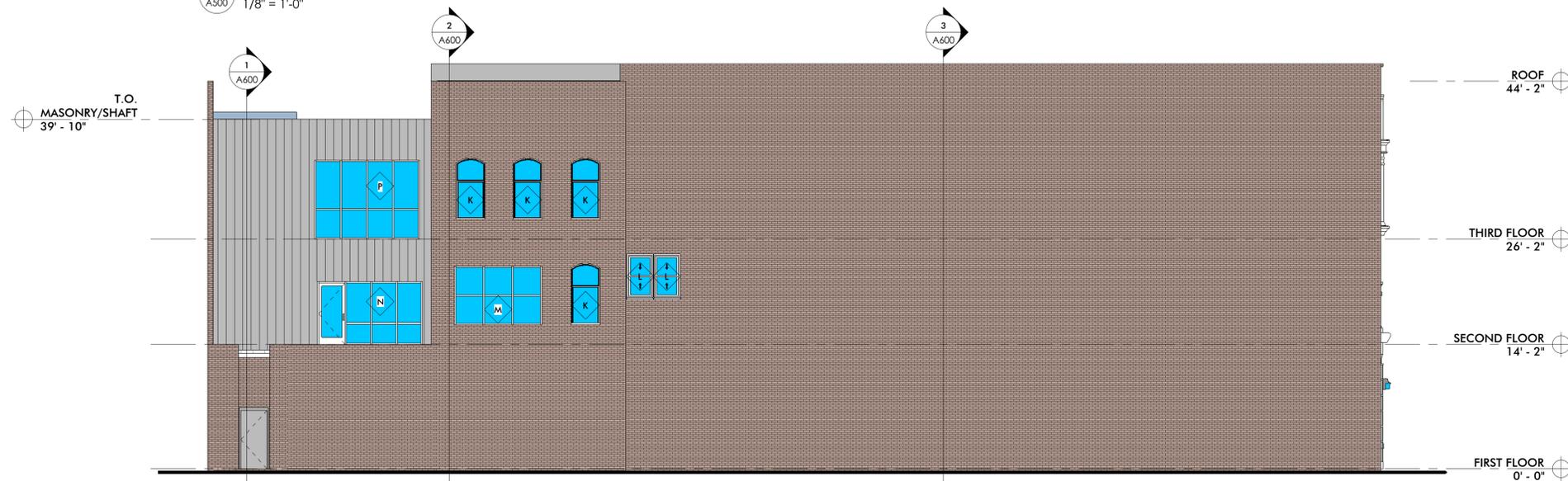
STOREFRONT SYSTEM: TUBELITE 14000 SERIES IS TO BE THE BASIS OF DESIGN

DECK PAVERS: GREENROOF OUTFITTERS' PAVER SYSTEMS TO BE UTILIZED AS A BASIS OF DESIGN
<https://greenroofoutfitters.com/products/deck-pavers-pedestal-systems/>

ROOFING: ELEVATE ULTRAPLY TPO ROOFING SYSTEM TO BE THE BASIS OF DESIGN



1 NORTH ELEVATION
1/8" = 1'-0"



2 SOUTH ELEVATION
1/8" = 1'-0"



3 EAST ELEVATION
1/8" = 1'-0"



HISTORIC IMAGE - FOR REFERENCE ONLY

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PROJECT NAME
123 N. WASHINGTON
PROJECT ADDRESS
123 N. WASHINGTON STREET, OWOSSO MI
CLIENT
RANDY AND JAMES WOODWORTH

ISSUE
PERMIT SET

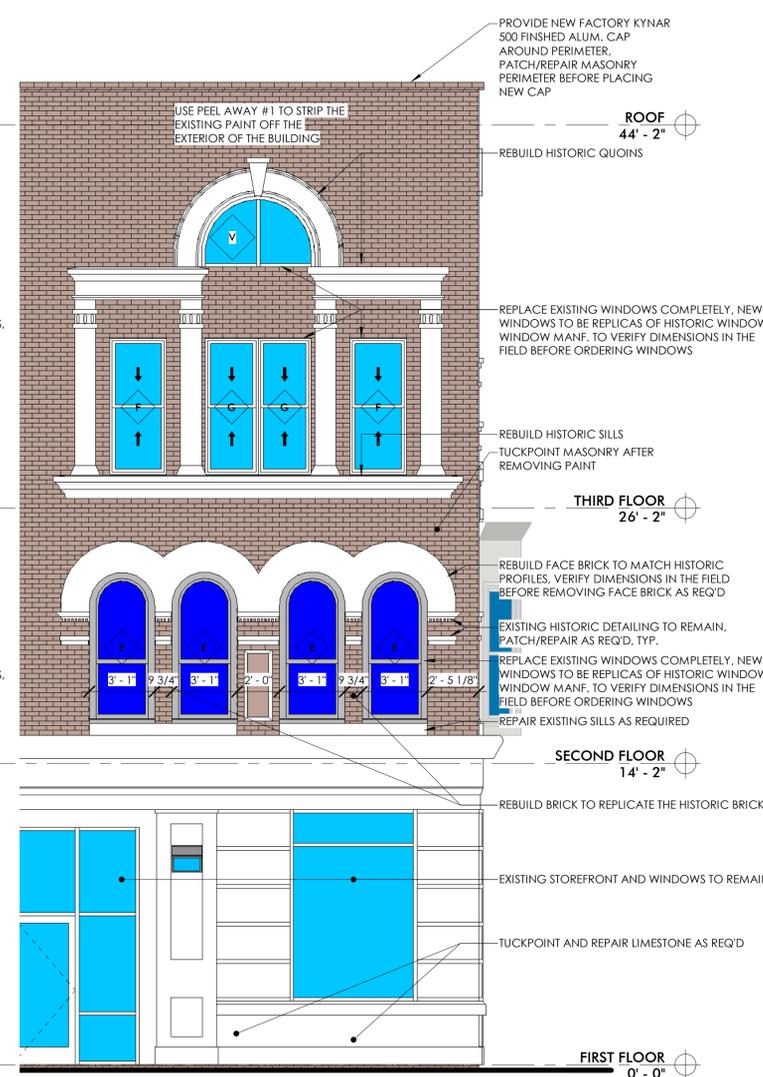
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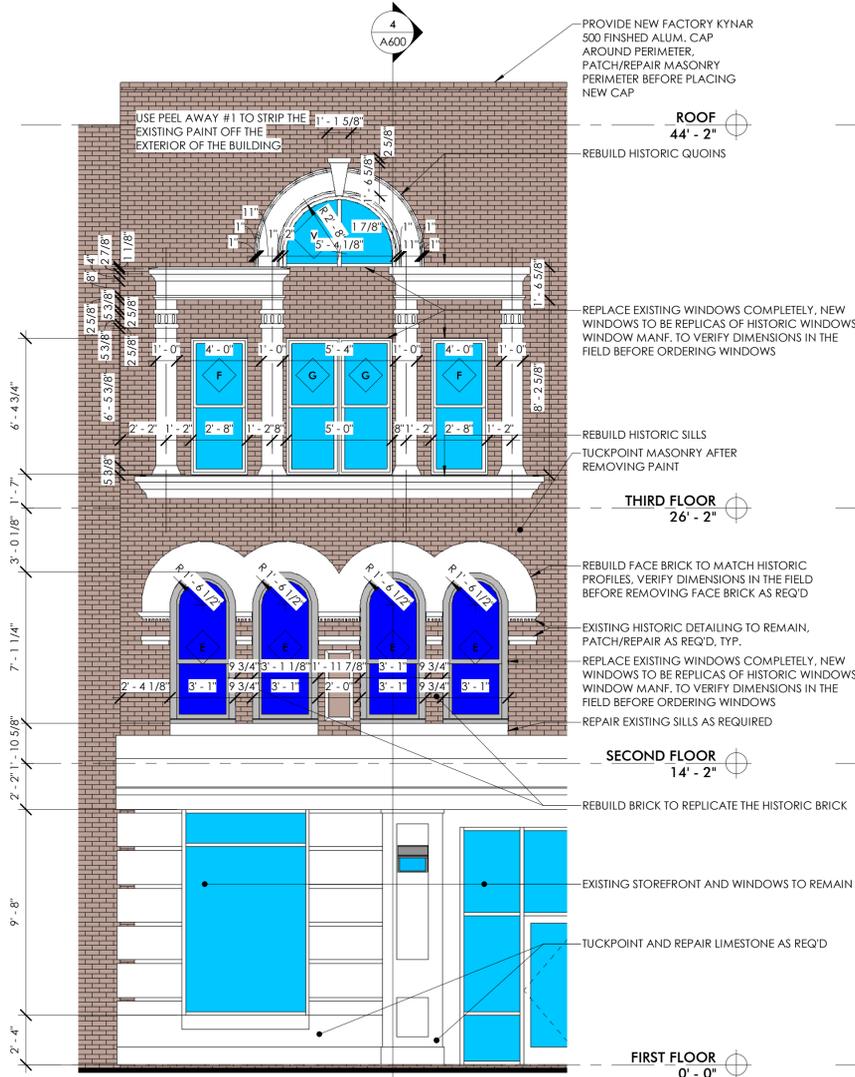
PROJECT NUMBER
2023.113

ENLARGED EXTERIOR ELEVATIONS

A501



1 ENLARGED EAST ELEVATION
 A501 1/4" = 1'-0"



2 ENLARGED EAST ELEVATION
 A501 1/4" = 1'-0"

ARCHITECT
 Driven Design Studio PLLC
 117 West Michigan Avenue
 Battle Creek, MI 49017
 (269) 753-8040
 cody@drivendesignstudio.com

OWNER
 Success Group Mortgage
 123 N. Washington St.
 Owosso, MI

CONSTRUCTION MANAGER/GC
 First Contracting
 701 S. Main St.
 Ovid, MI
 (989) 834-1500

ENGINEER
 Igynte Design
 38 Commerce St.
 Grand Rapids, MI

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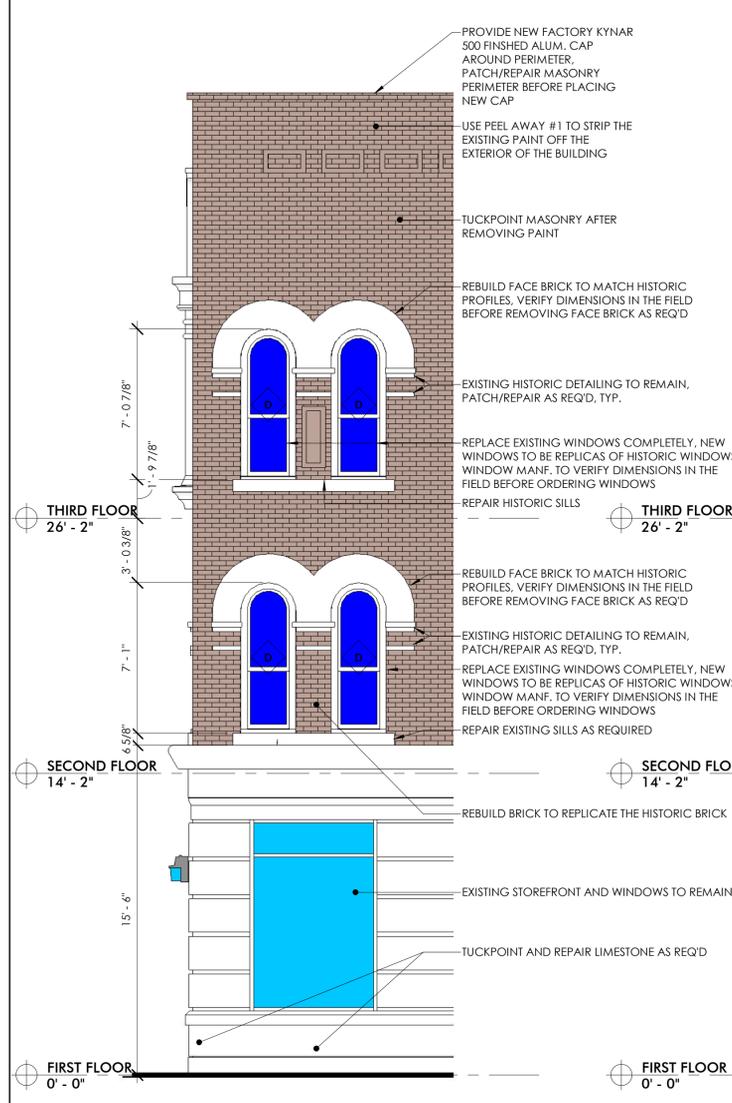
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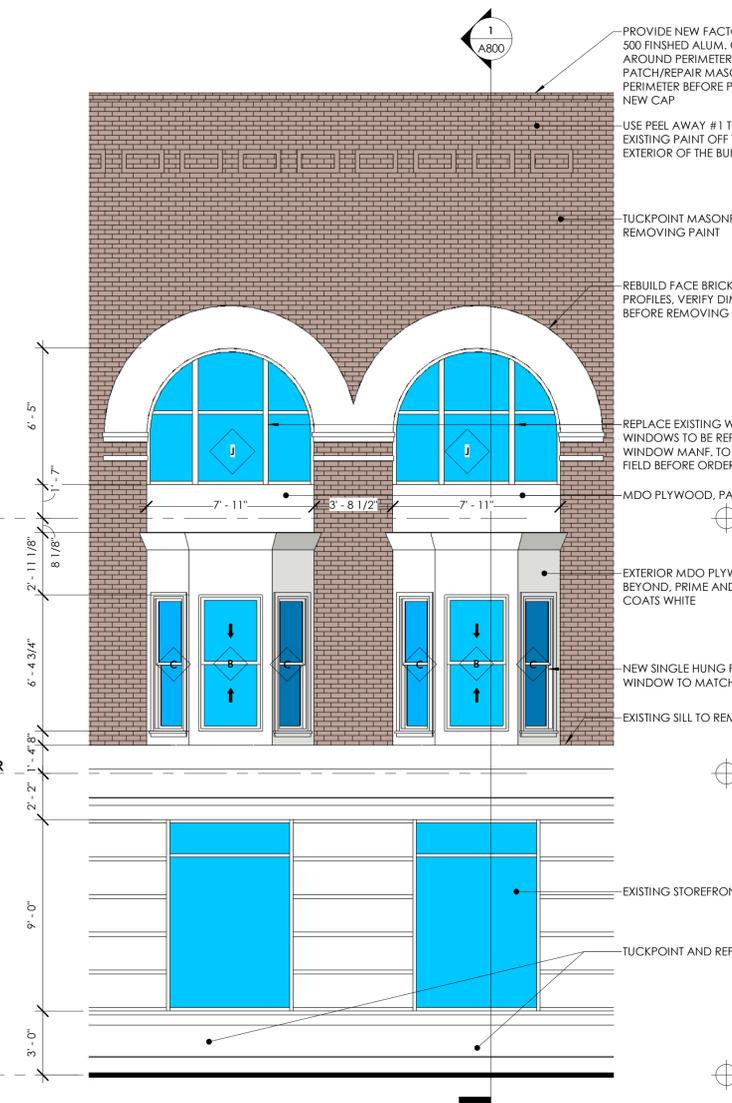
PROJECT NUMBER
2023.113

ENLARGED EXTERIOR ELEVATIONS

A502



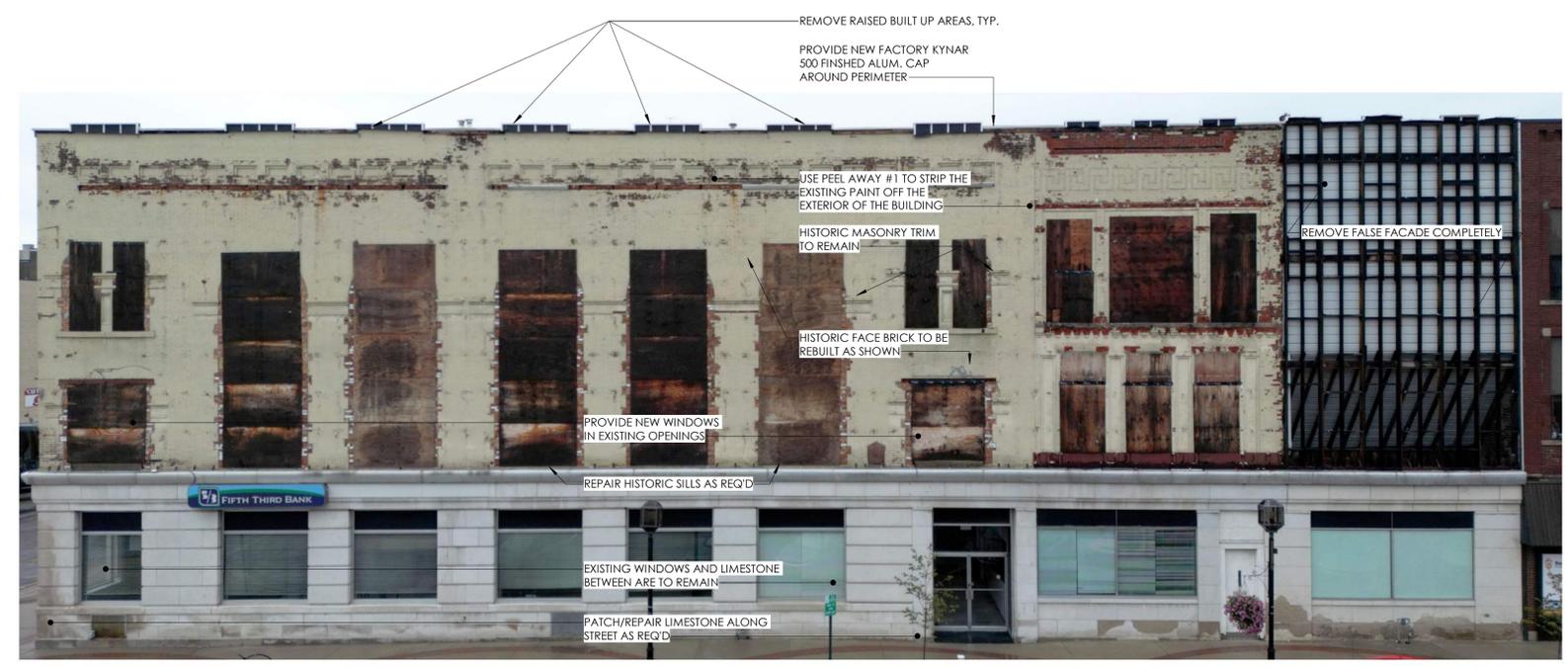
1 ENLARGED NORTH ELEVATION
 1/4" = 1'-0"

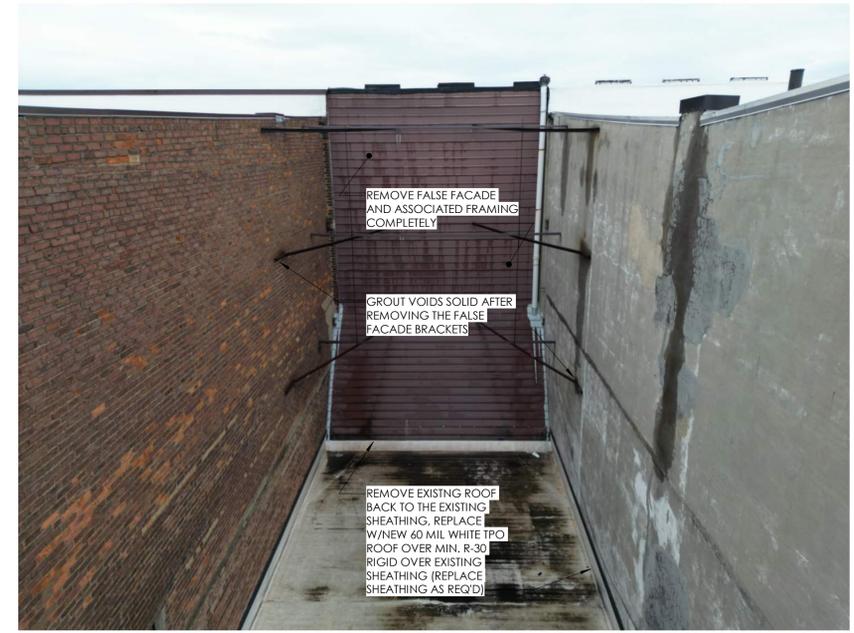
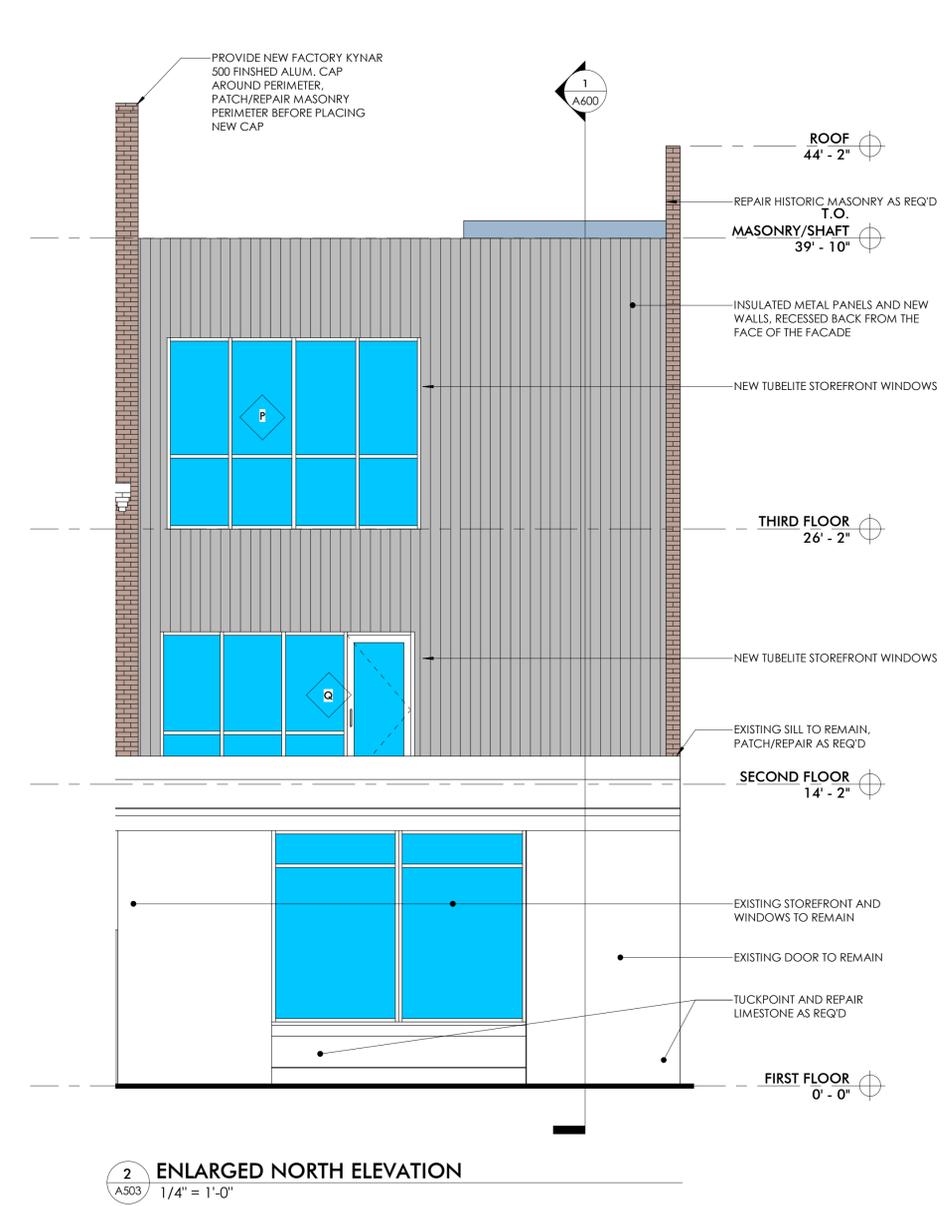
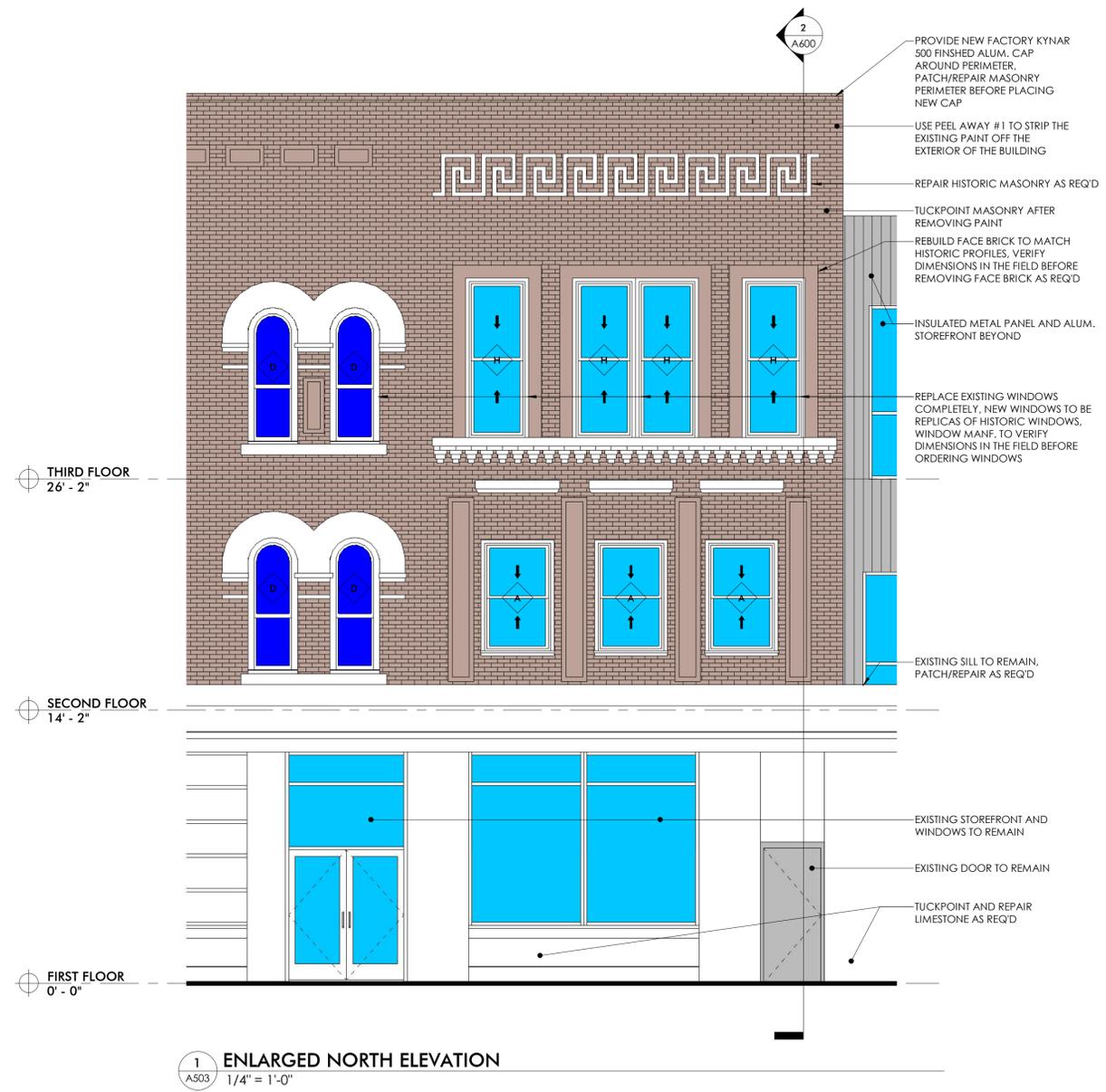


2 ENLARGED NORTH ELEVATION
 1/4" = 1'-0"



3 ENLARGED NORTH ELEVATION
 1/4" = 1'-0"





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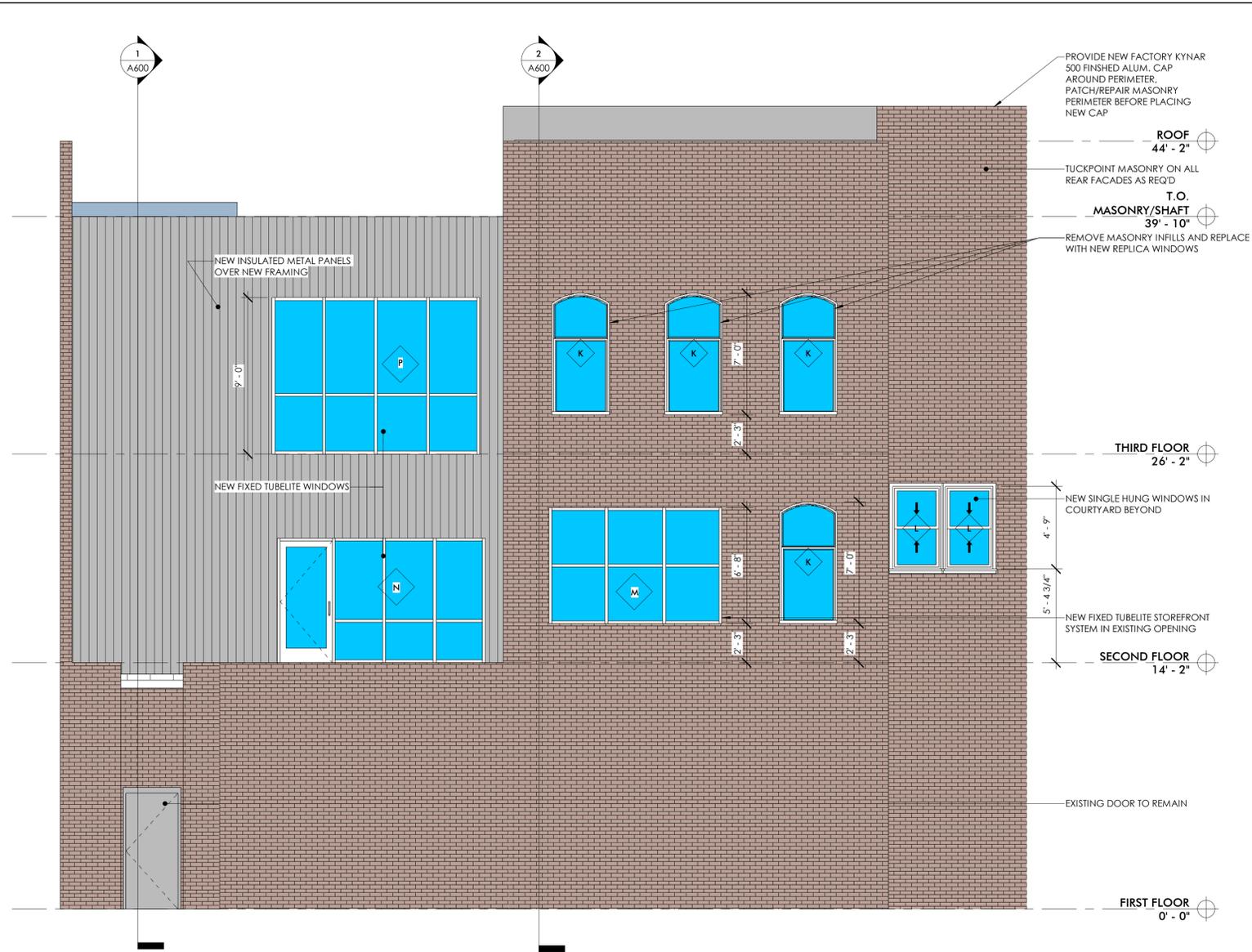
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ENLARGED EXTERIOR ELEVATIONS

A504



1 ENLARGED SOUTH ELEVATION
 A504 1/4" = 1'-0"

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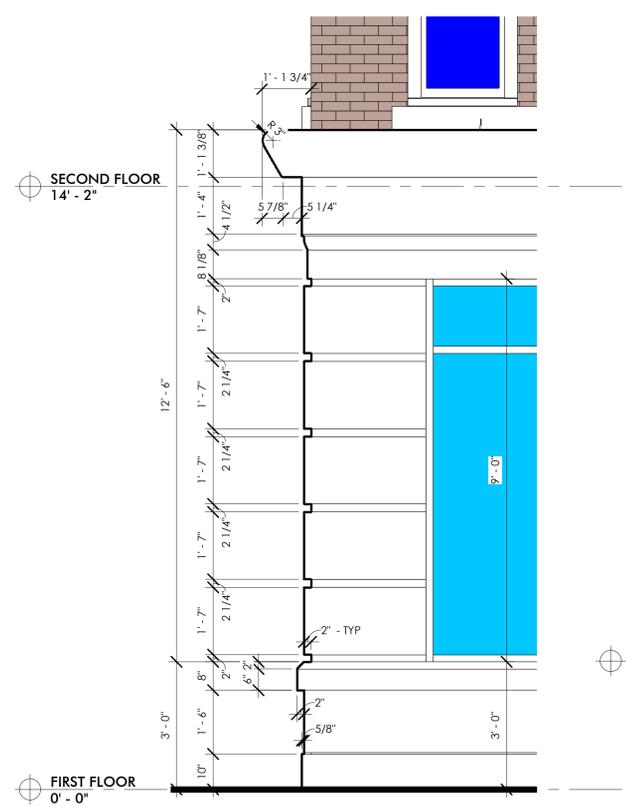
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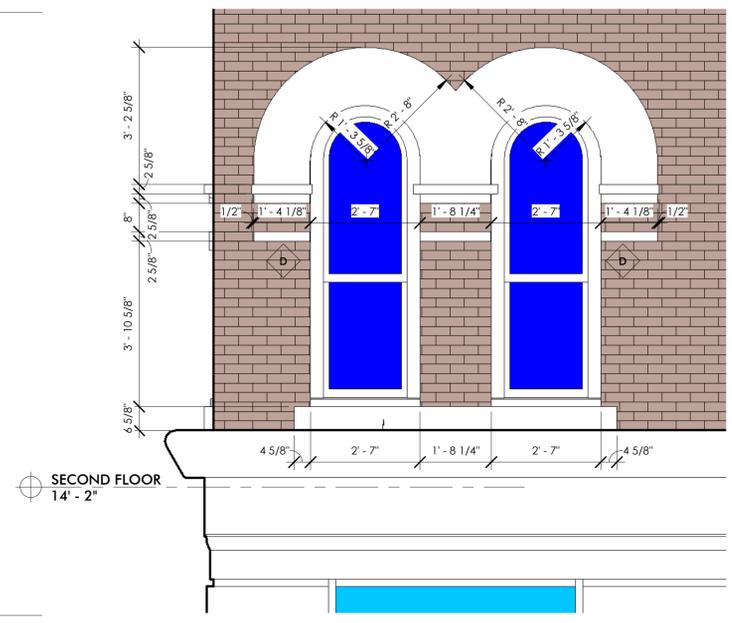
PROJECT NUMBER
 2023.113

ENLARGED EXTERIOR ELEVATION DETAILS

A505



1 NORTH ELEVATION DETAIL
 A505 1/2" = 1'-0"



2 NORTH ELEVATION DETAIL
 A505 1/2" = 1'-0"



3 NORTH ELEVATION DETAIL
 A505 1/2" = 1'-0"

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STAMP

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ENLARGED EXTERIOR ELEVATION DETAILS
A506



1 NORTH ELEVATION DETAIL
 A506 1/2" = 1'-0"

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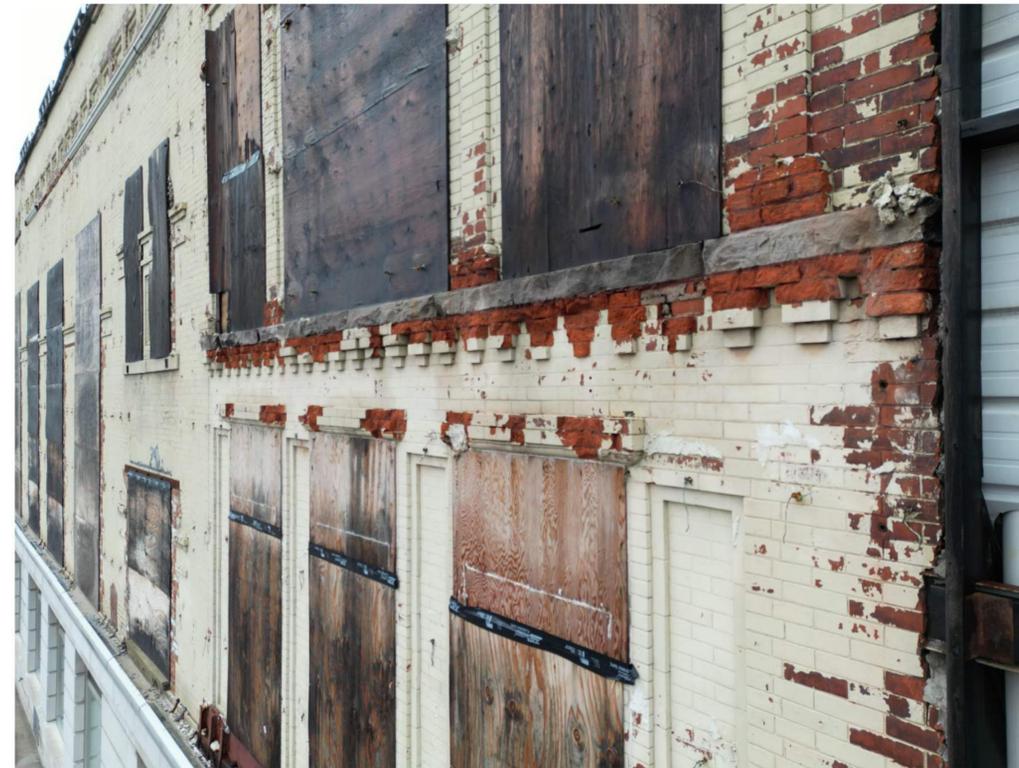
ISSUE
PERMIT SET

REVISION

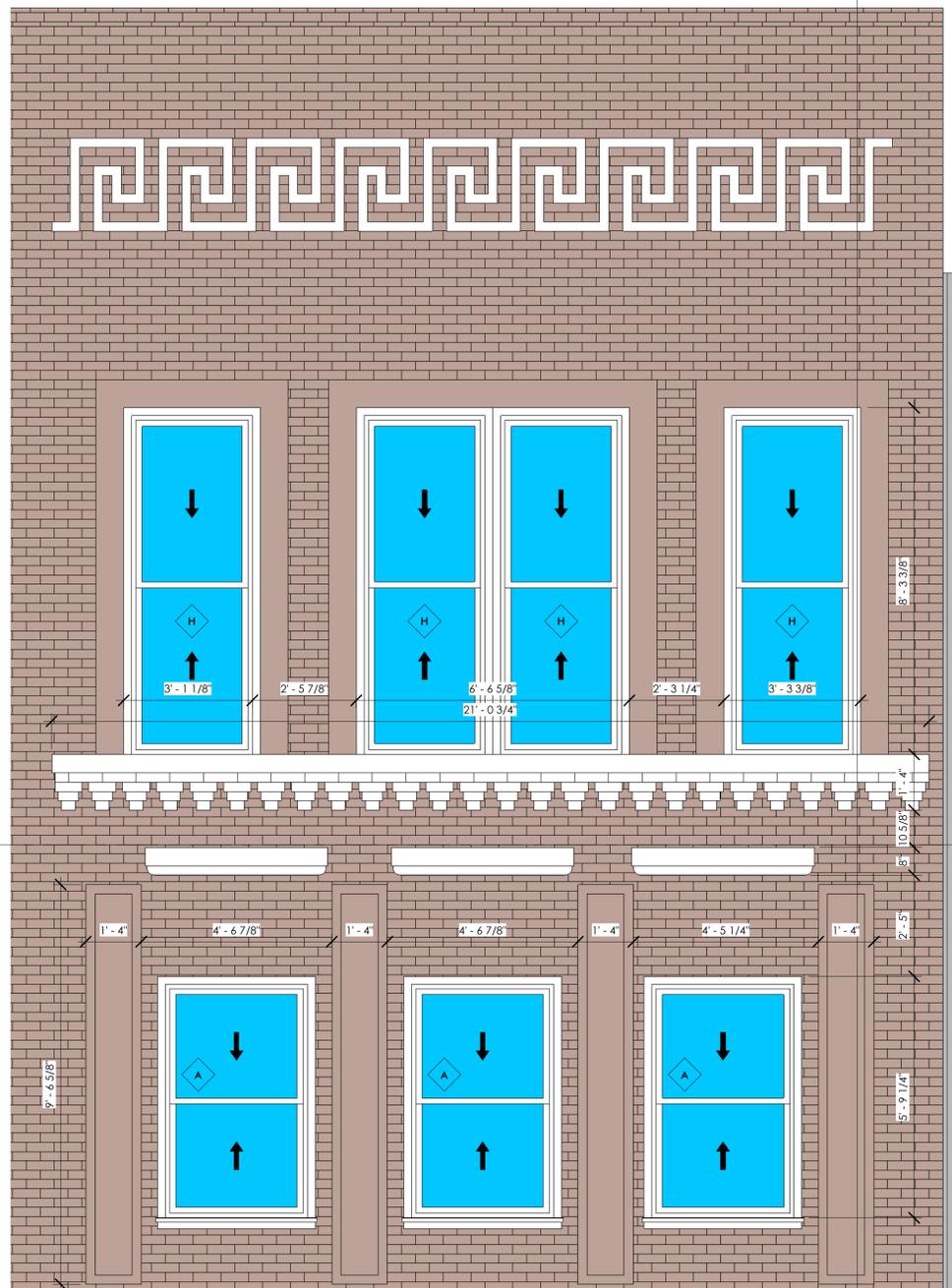
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ENLARGED EXTERIOR ELEVATION DETAILS
A507



2
A600



THIRD FLOOR
26' - 2"

SECOND FLOOR
14' - 2"

1 NORTH ELEVATION DETAIL
 A507 1/2" = 1'-0"

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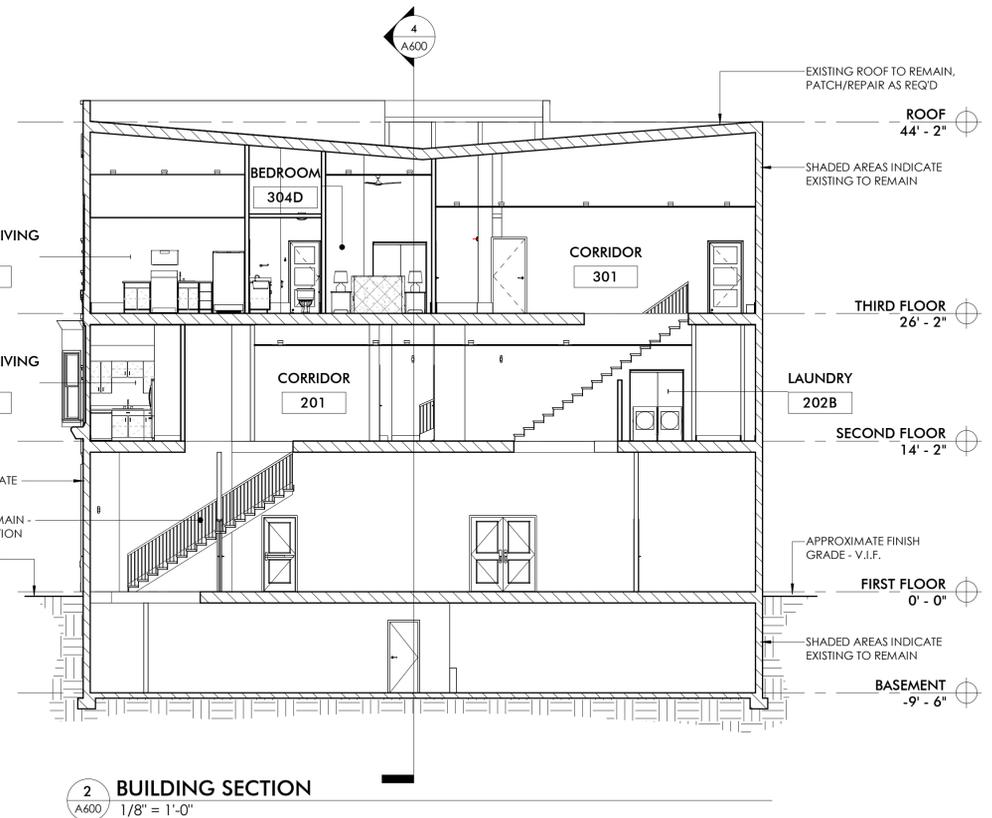
ISSUE
PERMIT SET

REVISION

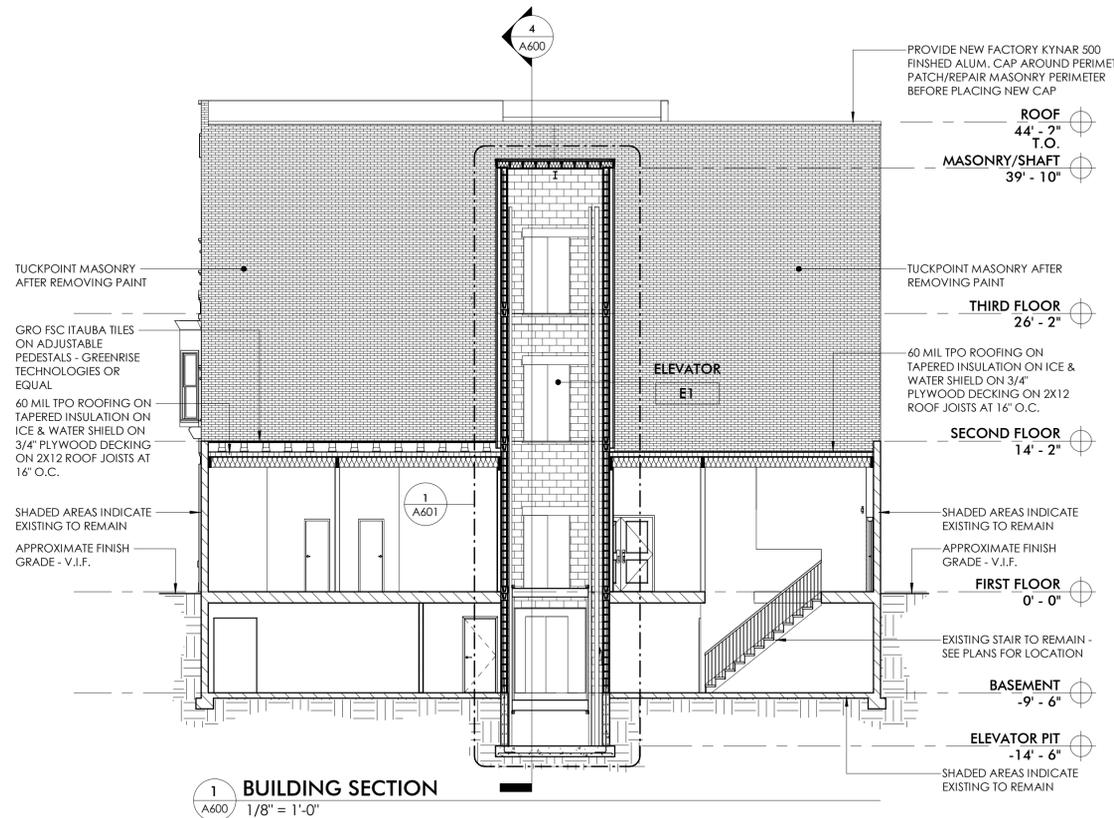
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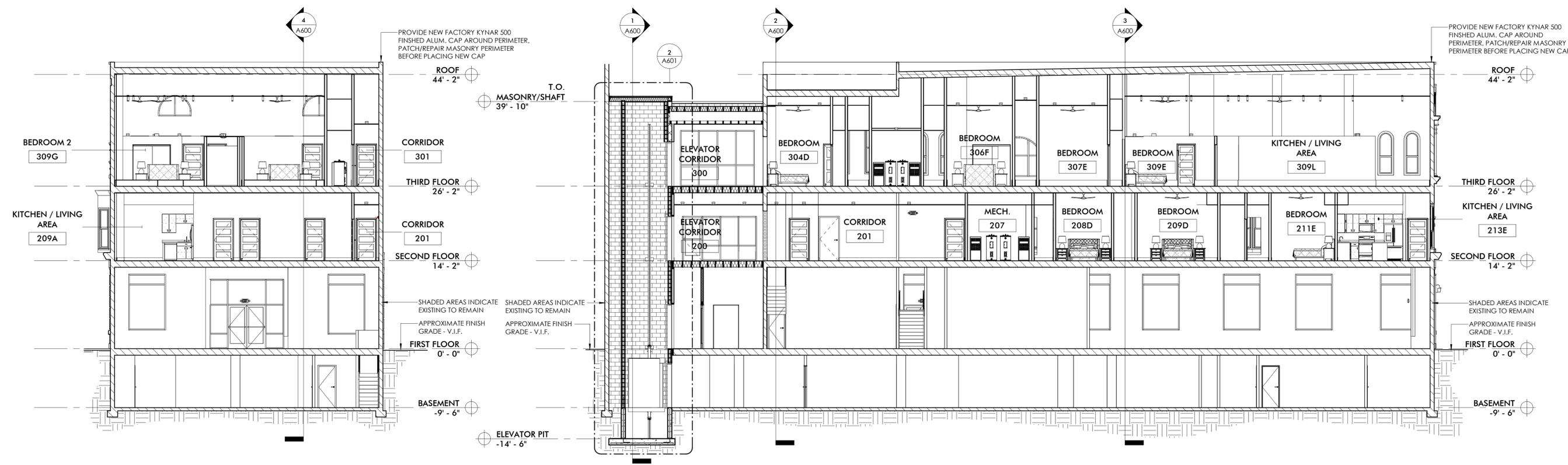
BUILDING SECTIONS
A600



2 BUILDING SECTION
 A600 1/8" = 1'-0"



1 BUILDING SECTION
 A600 1/8" = 1'-0"



3 BUILDING SECTION
 A600 1/8" = 1'-0"

4 BUILDING SECTION
 A600 1/8" = 1'-0"

26.9.2023



Custom Design

KONE MonoSpace® 300 DX

A space-saving, affordable machine room-less traction elevator solution, optimized for two to four story buildings

CAR LAYOUT

CAR DIMENSIONS

3500 LB Passenger Shape

CAR TYPE

Single Entrance

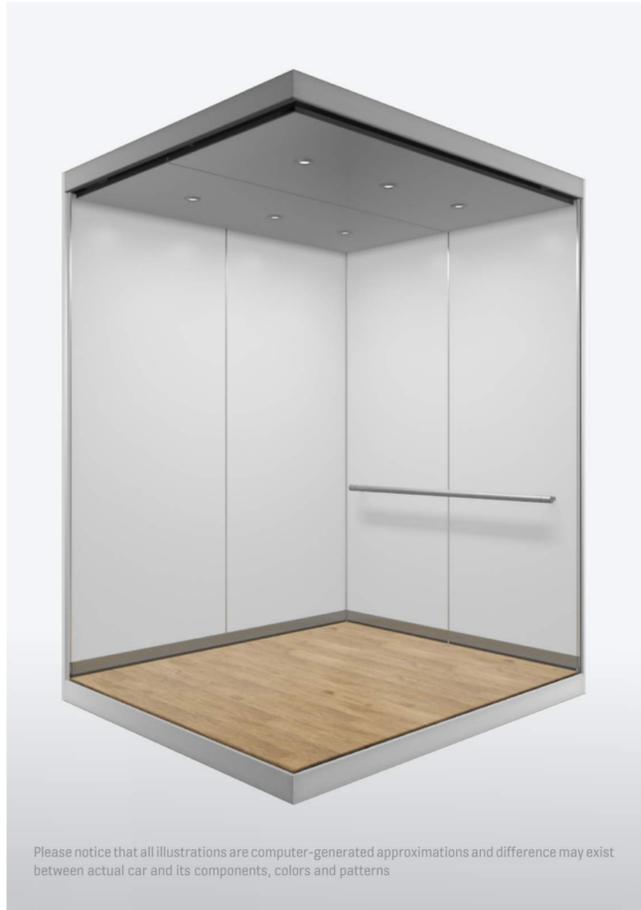
KEY SPECIFICATIONS

Max. travel
48' (14.6 m)/4 floors

Max. Group Size
2

Max. capacity
/3500 lb (1588 kg)

Max. Speed
150 FPM (.75 m/s)



Please notice that all illustrations are computer-generated approximations and difference may exist between actual car and its components, colors and patterns

MATERIALS AND ACCESSORIES

WALL FINISHES

Front [A]



Brushed Stainless Stee...
Brushed Stainless Steel

Right [B]



Pearl Silver,
Pearlescent laminate

Rear [C]



Pearl Silver,
Pearlescent laminate

Left [D]



Pearl Silver,
Pearlescent laminate

FLOOR FINISH



Sample floor by others, weight restrictions apply

CEILING



CL88 - Round, LED spotlights, Brushed Stainless Stee...

DOOR



DOOR TYPE
One-panel left side opening, Narrow-width frame

DOOR FINISH
Brushed Stainless Stee...
LANDING DOOR & FRAME FINISH
Brushed Stainless Steel, Grade 441

MATERIALS AND ACCESSORIES

USER INTERFACE

CAR OPERATING PANEL

KSS 140

KSS 140 is designed to withstand the most demanding environments by being impact, burn and splash resistant. Scratch resistance is achieved by utilizing the textured Scottish Quad finish option.



Flush panel
Brushed Stainless Stee...
Display type: Dot matrix, Amber

HALL INDICATOR



Hall lantern
Brushed Stainless Stee...

LANDING CALL STATION



Wall-mounted hall station without fire sign
Brushed Stainless Stee...

Elevator specific landing call station

CAR ACCESSORIES

HANDRAILS



Round, straight ends (HR61)
Brushed Stainless Stee...
Right [B], Left [D]

SKIRTING



Brushed Stainless Stee...



Front wall [A], Side wall [D]



Back wall [C]



Front wall [A]

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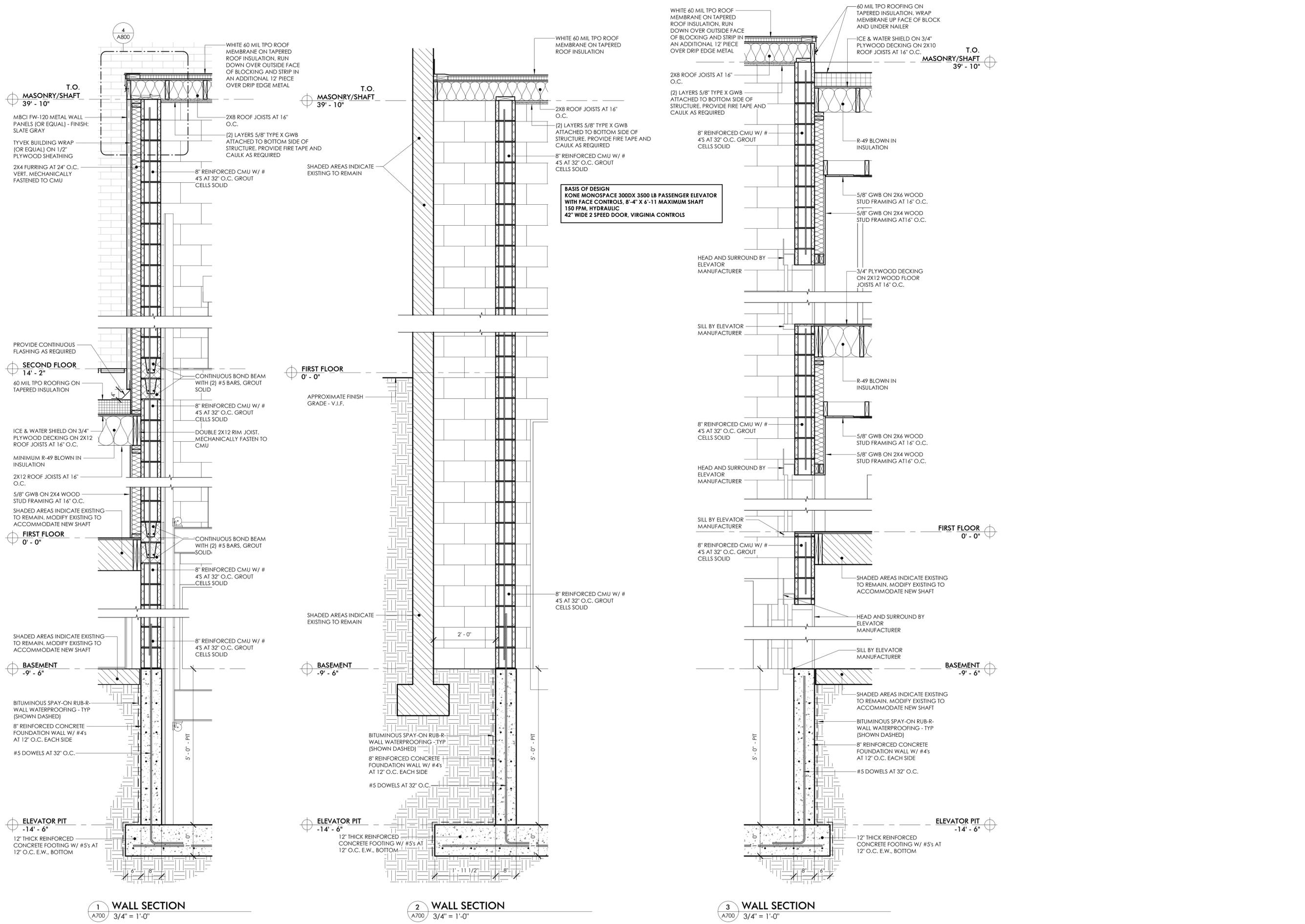
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ELEVATOR WALL SECTIONS

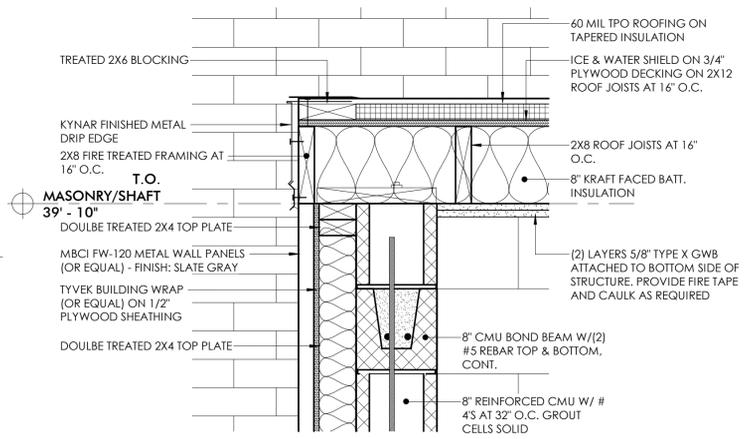
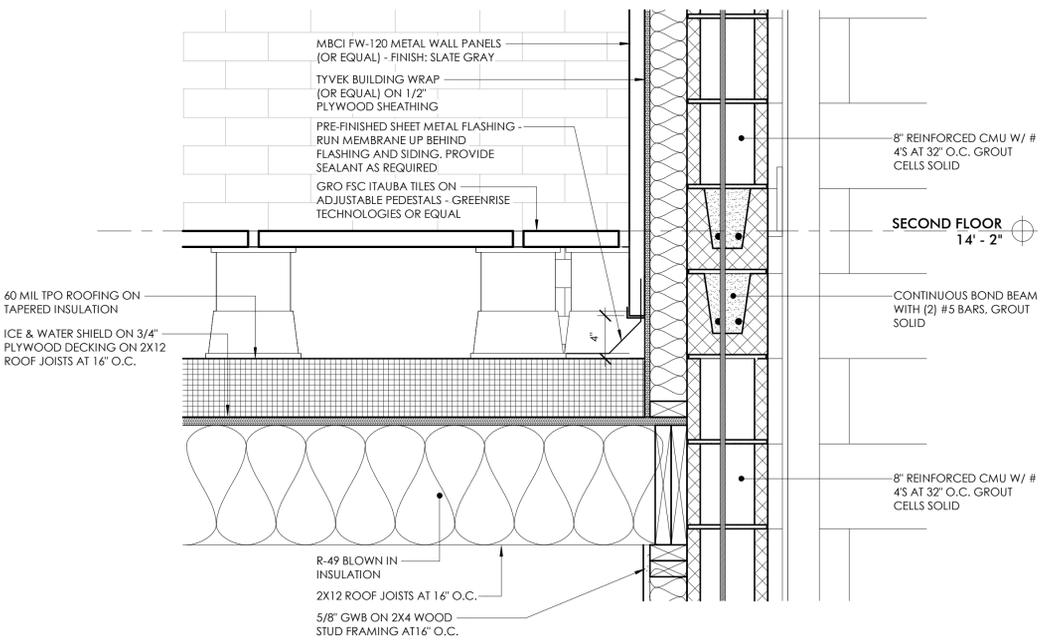
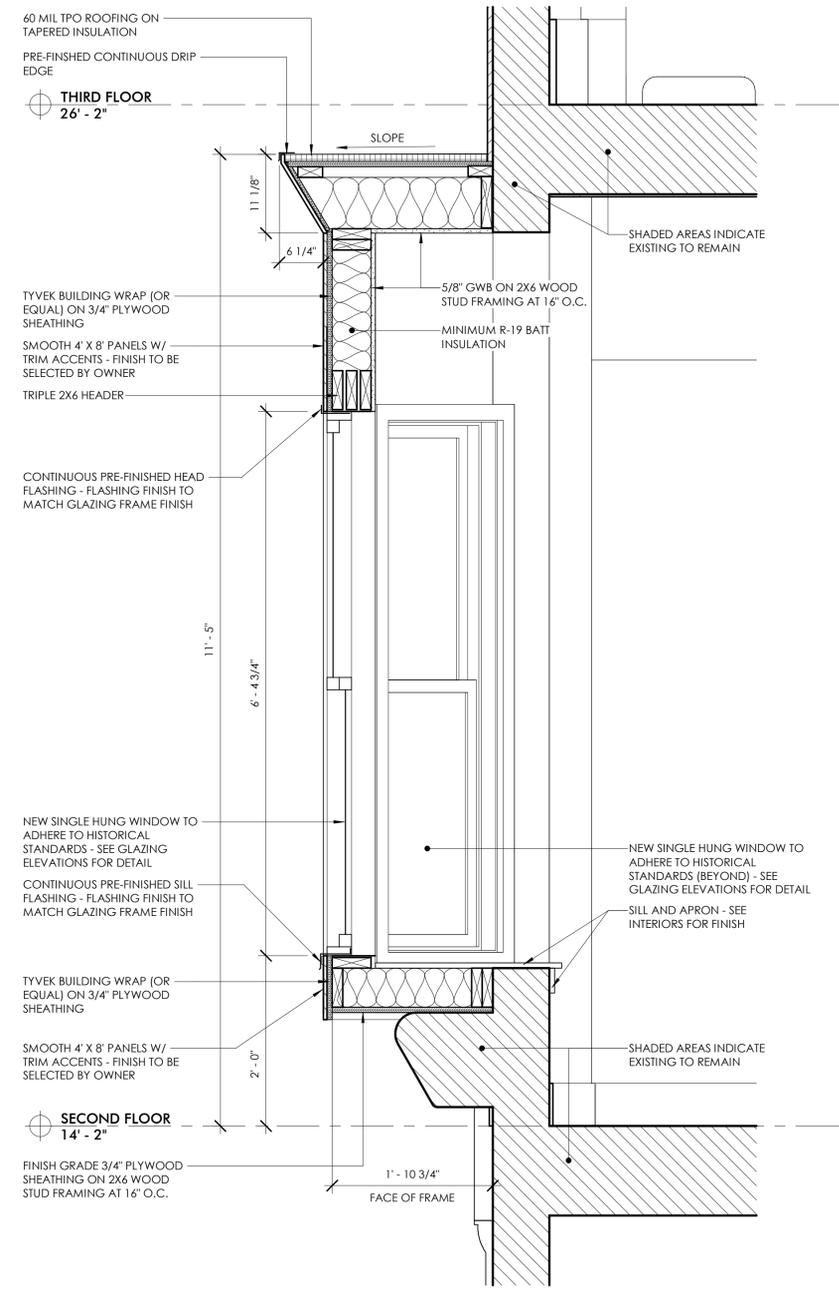
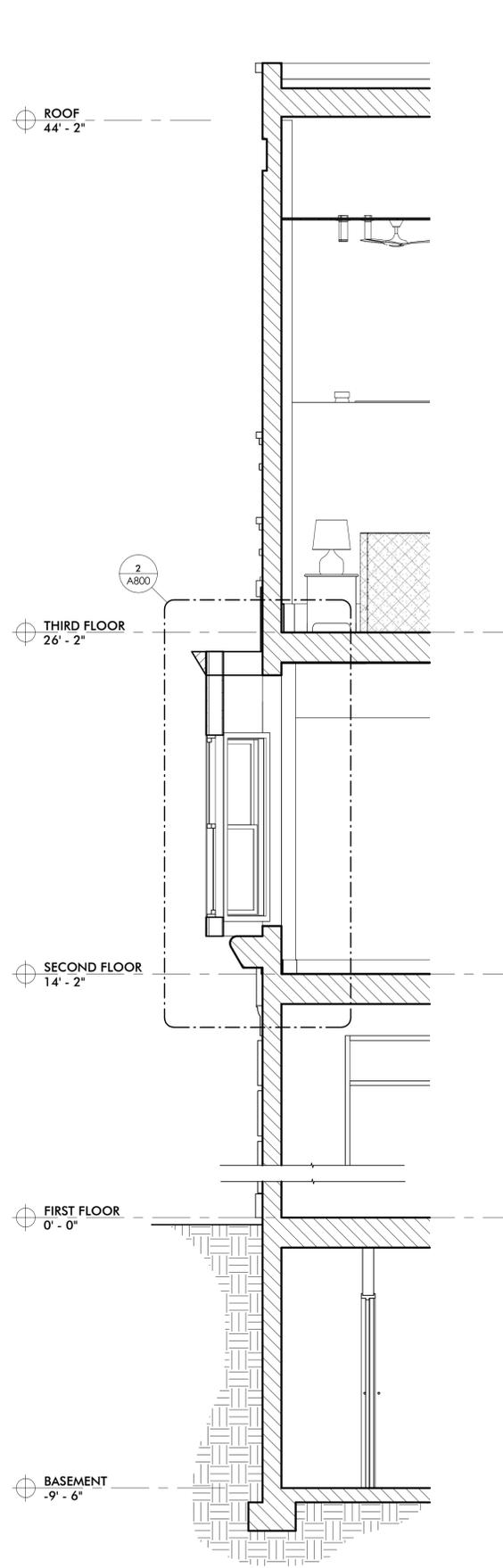
A700



1 WALL SECTION
 A700 3/4" = 1'-0"

2 WALL SECTION
 A700 3/4" = 1'-0"

3 WALL SECTION
 A700 3/4" = 1'-0"



1 WALL SECTION
 A800 3/8" = 1'-0"

2 SECTION DETAIL
 A800 1" = 1'-0"

3 SECTION DETAIL
 A800 1 1/2" = 1'-0"

4 SECTION DETAIL
 A800 1 1/2" = 1'-0"

CITY OF OWOSSO

HISTORIC DISTRICT COMMISSION APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS OR NOTICE TO PROCEED

This application must be received by the Owosso Building Department a minimum of ten working days prior to the scheduling of the application on the Historic District Commission agenda. Applicants are strongly encouraged to conduct a preliminary discussion with staff and/or the Historic District Commission prior to the consideration of an application. The Commission generally meets on the Third Wednesday of each month.

Please consult the Secretary of the Interior's Standards for Rehabilitation and the Historic District Commission guidelines for specific details on permissible alterations to the exterior of a structure or for the construction or demolition of any structure within the Historic District that require a CoA.

The following information shall be attached to this application. Additional information is encouraged:

1. A detailed plan drawn to a legible scale depicting the proposed alteration including size, a detailed description of materials and finishing work to be completed. If the size of the plan exceeds 11x17 then additional copies may be requested.
 - Plan shall show existing property lines and any prominent features on the site.
2. A minimum of the following photographs labeled to indicate the direction of view:
 - Current photos of the structure as seen from the street and/or façade of alteration;
 - Close up of existing detail in present condition proposed for alteration.

Date: 10-16-2024

Property Address: 123 N. WASHINGTON Owner's Name: WOODWORTH INVESTMENTS

Phone One: 248-730-0275 Other Phone: _____ Email: _____

Applicants Address: 116 W MAIN Applicants Name: WOODWORTH INVESTMENTS

Phone One: _____ Other Phone: _____ Email: _____

Does the property have or will it have before the proposed project completion date, a fire alarm system or a smoke alarm complying with the requirements of the Stille-DeRosset-Hale single state construction code act, 1972 PA 230, MCL 125.1501-12501531*. YES

Description of Work proposed, BE SPECIFIC (attach sheets describing activities, materials, dimensions, etc.)

Applicant's Signature [Signature]

Property Owner's Signature [Signature]

Please contact Nathan Henne for further information 989.725.0568 during business hours, or nathan.henne@ci.owosso.mi.us.

Return to City Hall, 301 W. Main St., Owosso, MI 48867

*"Fire alarm system" means a system designed to detect and annunciate the presence of fire or by-products of fire. Fire alarm system includes smoke alarms. "Smoke alarm" means a single-station or multiple-station alarm responsive to smoke and not connected to a system. As used in this subdivision, "single-station alarm" means an assembly incorporating a detector, the control equipment, and the alarm sounding devices into a single unit, operated from a power supply either in the unit or obtained at the point of installation.

"Multiple station alarm" means 2 or more single station alarms that are capable of interconnection such that actuation of 1 alarm causes all integrated separate audible alarms to operate.

RE: 123 N Washington St, Owosso, MI 48867

We have been working with the MEDC to help fund the complete redevelopment of 123 N Washington St, including façade, windows, and addition of residential housing (see attached architectural drawings). Our plans have been approved and awarded grant funding, pending final approval from National Parks Service for federal historic tax credits. Based on current turnaround times, we anticipate hearing on final approval before the end of 2024.

In the event tax credits are denied or the project is no longer financially viable, we are pursuing a back up plan of covering the façade back up with a similar product you see at the former Matthews Building.

Please let me know if you have any questions.

A handwritten signature in black ink, appearing to read "Jim Woodworth", written in a cursive style.

Jim Woodworth

HISTORIC DISTRICT COMMISSION RESOLUTION NO. 2024-3

RESOLUTION APPROVING A CERTIFICATE OF APPROPRIATENESS FOR FAÇADE REPLACEMENT/REHABILITATION AT 123 N WASHINGTON STREET

WHEREAS, the Historic District Commission of Owosso, Michigan, has received an application from the property owner of 123 N Washington Street to replace or rehabilitate the façade; and

WHEREAS, the Commission was established to preserve the historic nature of the district using the guidelines set forth by the United States Secretary of the Interior; and

WHEREAS, the property at 123 N Washington Street, constructed in 1896 as the "Keeler Block," is a contributing structure within the Historic District and holds significant architectural and historical value; and

WHEREAS, the proposed project includes:

- Primary Plan: A full façade rehabilitation consistent with historic preservation standards, contingent upon approval for federal historic tax credits from the National Park Service.
- Contingency Plan: An alternative façade covering, similar to the former Matthews Building, should federal tax credits be denied or the project become financially unviable.

WHEREAS, the application aligns with the Owosso Historic District Commission Design Guidelines and the Secretary of the Interior's Standards for Rehabilitation, ensuring compatibility with the historic character of the building and the district; and

WHEREAS, the proposed façade work, whether under the primary or contingency plan, will enhance the building's integrity and visual contribution to the district while supporting the broader redevelopment project.

NOW, THEREFORE, BE IT RESOLVED by the Historic District Commission of the City of Owosso, Shiawassee County, Michigan, that:

FIRST The historic or architectural value and significance of the resource and its relationship to the surrounding area will not be adversely affected by the proposed work.

SECOND: The proposed façade rehabilitation or replacement meets the requirements of the Owosso Historic District Commission Design Guidelines and the Secretary of the Interior's Standards for Rehabilitation.

THIRD: The materials, design, and approach outlined in the primary and contingency plans are appropriate and compatible with the historical character of the building and the surrounding district.

FOURTH: The approval of this Certificate of Appropriateness supports the redevelopment goals for 123 N Washington Street, ensuring the building's ongoing contribution to the historic district.

Moved: _____

Supported: _____



DATE: 11.18.24
TO: Historic District Commission
FROM: City Manager
SUBJECT: 213 N Washington – Façade CofA

BACKGROUND:

The property at 213 N Washington Street, Owosso, MI, is a contributing structure within the Historic District and among the city's earliest extant downtown buildings, dating to approximately 1856. The building is notable for its plain and dignified brick façade, minimal ornamentation, and three-story design.

The property owner has submitted an application to replace the pre-existing brick façade (removed by previous owner) with compliant lap siding, modernizing the building while maintaining its historical integrity. This material aligns with the Owosso Historic District Commission Design Guidelines, which permit alternate materials when they are compatible with the historic character of the building and district.

HISTORY:

213 N Washington Street features a historically significant design, characterized by simple brick ornamentation and a lack of the projecting piers seen in later masonry buildings. The second and third floors originally featured window openings capped with pedimented lintels, though several of these openings were later filled with cement block in poorly executed repairs.

The building's notable architectural elements include:

- A smooth stone stringcourse below the second-floor windows.
- A projecting brick stringcourse above the third-floor window openings.
- A simple brick parapet with oblong indentations and dentil-pattern brick ornamentation.

Over the years, the building has undergone significant changes, particularly at the street level, which was reworked extensively in the 20th century. Restoration of the upper façade's windows and pediments remains feasible and would enhance the building's historical appearance.

The site has been home to a variety of businesses, including Gabriel's Women and Misses Store (1921-1931) and Watcher Shoe Company (1915-1942). The current façade likely covers two distinct buildings that were combined and renumbered in the mid-20th century, as part of a larger storefront expansion.

RECOMMENDATION:

Approve a Certificate of Appropriateness for the replacement of the brick façade at 213 N Washington Street with lap siding, provided the material complies with the Owosso HDC Design Guidelines and is compatible with the building's historic character.

- The lap siding must be of compliant material
- The proposed façade replacement offers an opportunity to correct previous alterations and enhance the building's contribution to the Historic District.

Approval will support the revitalization of 213 N Washington Street while ensuring its historic and architectural value is preserved for the future.

CITY OF OWOSSO

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1. A detailed plan drawn to a legible scale depicting the proposed alteration including size, a detailed description of materials and finishing work to be completed. If the size of the plan exceeds 11x17 then additional copies may be requested.
 - Plan shall show existing property lines and any prominent features on the site.
2. A minimum of the following photographs labeled to indicate the direction of view:
 - Current photos of the structure as seen from the street and/or façade of alteration;
 - Close up of existing detail in present condition proposed for alteration.

Date: 10-30-24

Property Address: 213 N. Washington Owner's Name: Todd Snyder

Phone One: 989-251-6105 Other Phone: 517-894-5484 Email: Tasnyderservices@gmail.com

Applicants Address: 110 W. Exchange Apt A Owosso Applicants Name: Todd Snyder

Phone One: same as above Other Phone: _____ Email: _____

Does the property have or will it have before the proposed project completion date, a fire alarm system or a smoke alarm complying with the requirements of the Stille-DeRosset-Hale single state construction code act, 1972 PA 230, MCL 125.1501-12501531* yes

Description of Work proposed, BE SPECIFIC (attach sheets describing activities, materials, dimensions, etc.)

Applicant's Signature Todd Snyder

Property Owner's Signature Todd Snyder

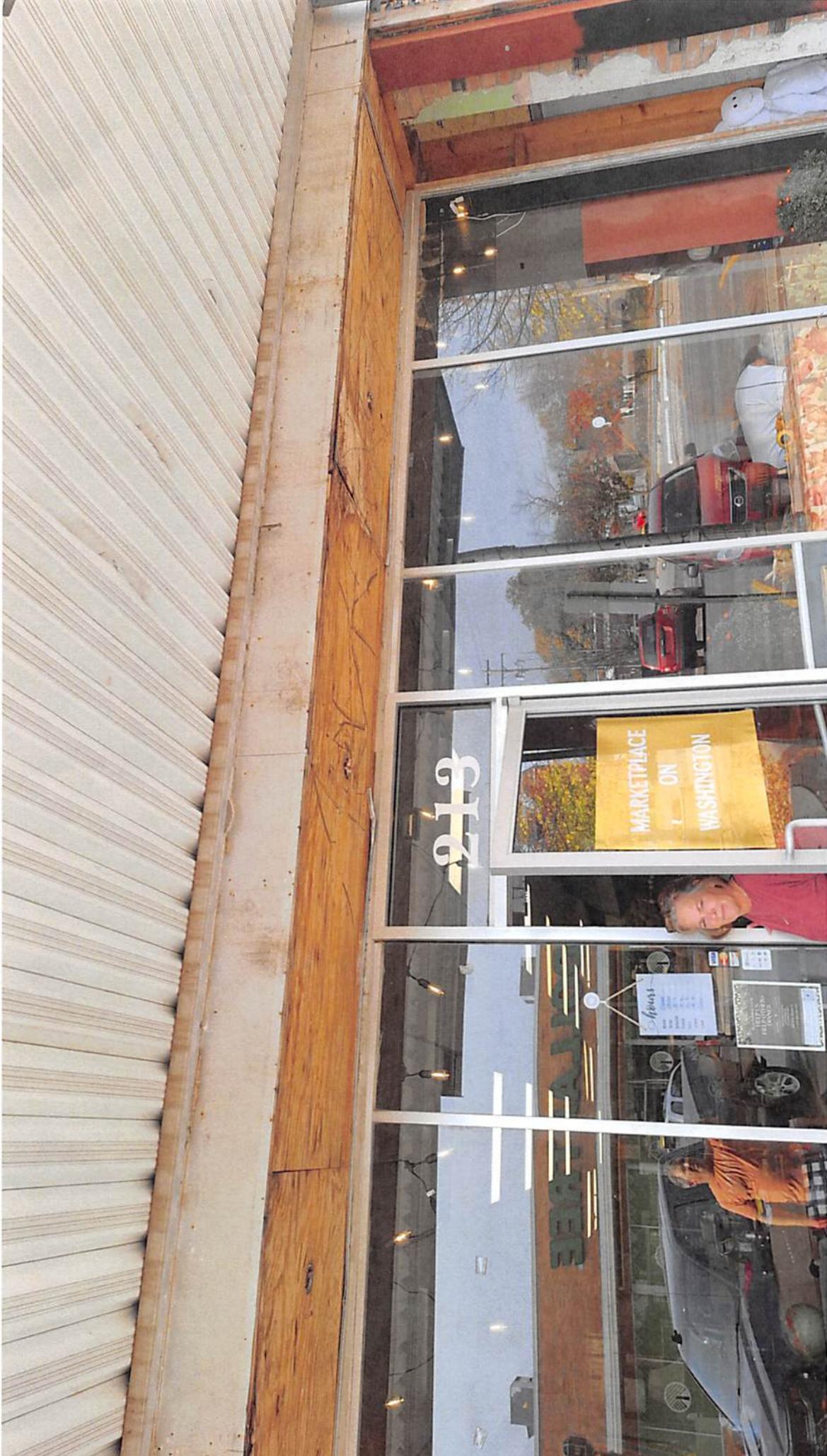
Please contact Nathan Henne for further information 989.725.0568 during business hours, or nathan.henne@ci.owosso.mi.us.

Return to City Hall, 301 W. Main St., Owosso, MI 48867

*"Fire alarm system" means a system designed to detect and annunciate the presence of fire or by-products of fire. Fire alarm system includes smoke alarms. "Smoke alarm" means a single-station or multiple-station alarm responsive to smoke and not connected to a system. As used in this subdivision, "single-station alarm" means an assembly incorporating a detector, the control equipment, and the alarm sounding devices into a single unit, operated from a power supply either in the unit or obtained at the point of installation.

"Multiple station alarm" means 2 or more single station alarms that are capable of interconnection such that actuation of 1 alarm causes all integrated separate audible alarms to operate.





213

MARKETPLACE
ON
WASHINGTON

BEAR AIR

Hours

HELPING
HOMES



213

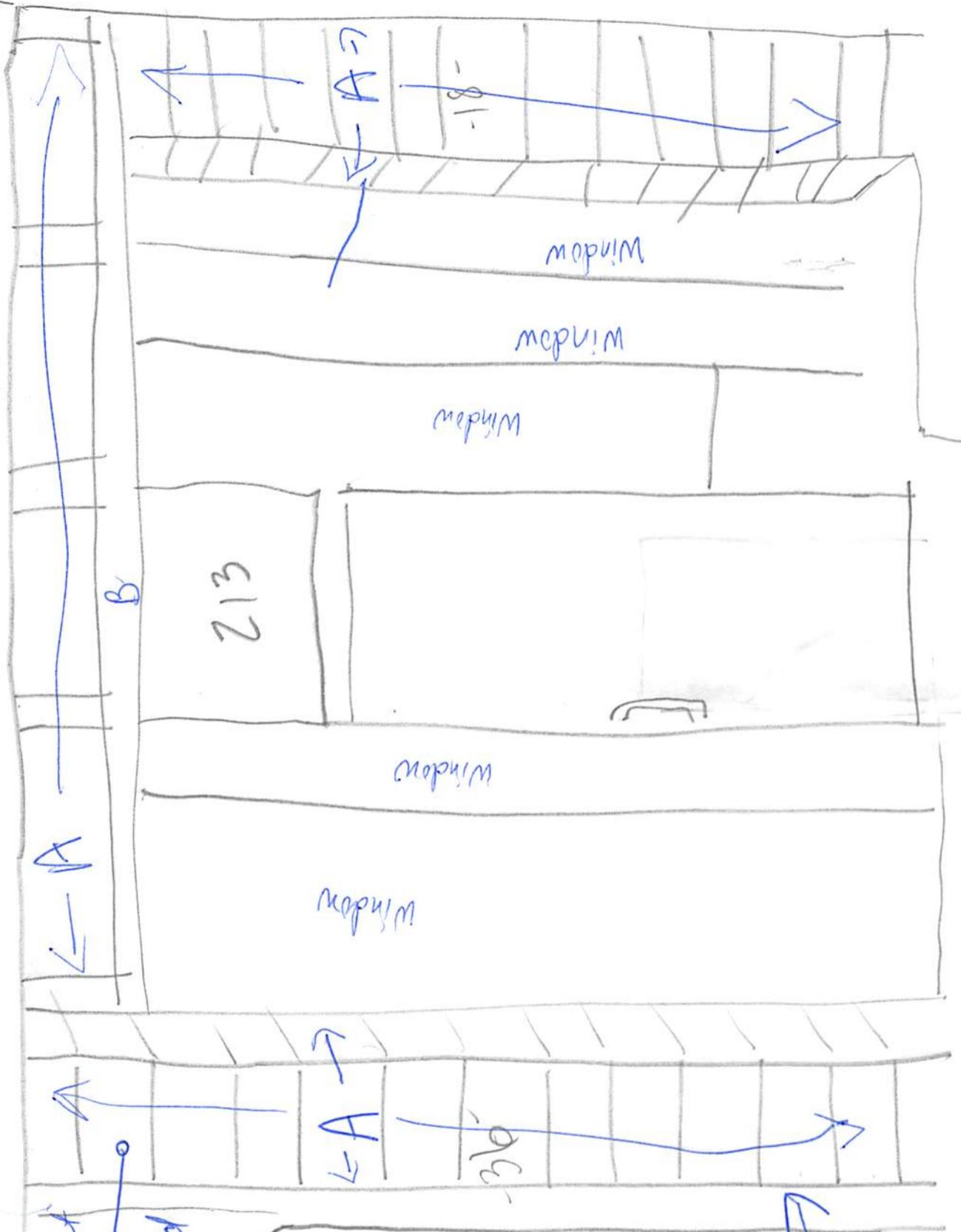
- Home Decor
- Comedias/Meals
- Garden Decor
- Wedding
- Crystal
- Memorial
- Gifts for Guys too!
- Jewelry
- Purses
- Apparel
- Balloons

GIFTS
OPEN

MARKETPLACE
ON
WASHINGTON

← 25 ft →

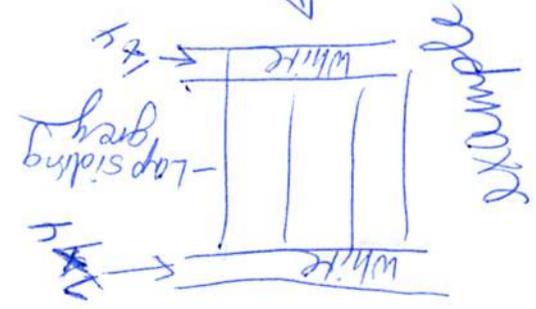
120



A. Lap siding trimmed out
 painted & weather proofed

Grey with
 white trim

B. Weatherproofed &
 painted



example

From: [Todd Snyder](#)
To: [Nathaniel R. Henne](#); [Tanya S. Buckelew](#)
Subject: 213 N. Washington St - Notice of Violation - Owosso Historic District
Date: Thursday, October 17, 2024 1:15:56 PM

Greetings,

Apologies, even though the letter was dated Sept 18 it was received while mail was stopped while I was out of town. I am responding to it now.

There are plans to address this property, even though this property was inherited in this condition and was in that same condition for many years prior to the inheriting happening without being addressed by the "historical district" prior to this, to my knowledge. It is not being over-looked, I assure you. The urgency of 30 days seems a tad extreme due to the above circumstances. Again, it is not being over-looked by myself and I will be in touch with plans.

Thank you,
Todd Snyder

HISTORIC DISTRICT COMMISSION RESOLUTION NO. 2024-4

RESOLUTION APPROVING A CERTIFICATE OF APPROPRIATENESS FOR FAÇADE REPLACEMENT AT 213 N WASHINGTON STREET

WHEREAS, the Historic District Commission of Owosso, Michigan, has received an application from the property owner of 213 N Washington Street to replace the existing brick façade with compliant lap siding; and

WHEREAS, the Commission was established to preserve the historic nature of the district using the guidelines set forth by the United States Secretary of the Interior and the Owosso Historic District Commission Design Guidelines; and

WHEREAS, the property at 213 N Washington Street is a contributing structure within the Historic District, built circa 1856, and is among the oldest surviving downtown structures in Owosso; and

WHEREAS, the building's original brick façade, featuring minimal ornamentation, stone stringcourses, and brick parapet detailing, has been altered over time, including poorly executed cement block repairs to window openings; and

WHEREAS, the proposed lap siding will provide a compatible and historically appropriate alternative material, adhering to the design guidelines while improving the building's appearance and functionality; and

WHEREAS, the application was found to be complete, and the proposed replacement aligns with the Secretary of the Interior's Standards for Rehabilitation, ensuring that the building's historical and architectural significance is preserved.

NOW, THEREFORE, BE IT RESOLVED by the Historic District Commission of the City of Owosso, Shiawassee County, Michigan, that:

- FIRST: The historic or architectural value and significance of the resource and its relationship to the surrounding area will not be adversely affected by the proposed façade replacement.
- SECOND: The proposed lap siding complies with the Owosso Historic District Commission Design Guidelines and is compatible with the district's historic character.
- THIRD: The material, design, and overall approach to the façade replacement ensure the preservation of the building's historic integrity while addressing modern durability and maintenance needs.
- FOURTH: The approval of this Certificate of Appropriateness supports the continued contribution of 213 N Washington Street to the Historic District and enhances its visual and structural condition.

Moved: _____

Supported: _____

From: [Itsa Deli Thing Itsa Deli Thing](#)
To: Tanya.buclelew@ci.owosso.mi.us; [Nathaniel R. Henne](#)
Subject: Historic District Notice
Date: Monday, November 4, 2024 1:50:55 PM

Good Afternoon,

We received your notice of violation for 214 W Exchange. Thank you for bringing this to our attention. We only recently acquired the building, and did not have the original work done nor do we know how long it has been in its current condition. This portion of the building is still under renovations, and plans have been discussed in regards to the facade. In light of this new information, research will need to be conducted to ascertain the original structure. Funding will also need to be procured and weather will dictate the time frame of the transformation. Your patience is greatly appreciated as we work to resolve this issue. We will keep you informed of our progress and contact you with any questions or concerns we may have.

Sincerely,
Dawn McCoy