



**CITY OF OWOSSO
PLANNING COMMISSION**

Regular Meeting

Monday, April 22, 2019 at 6:30 p.m.
Council Chambers – Owosso City Hall
301 W. Main Street, Owosso, MI 48867

AGENDA

CALL TO ORDER

PLEDGE OF ALLEGIANCE

ROLL CALL

APPROVAL OF AGENDA – April 22, 2019

APPROVAL OF MINUTES – February 25, 2019

PUBLIC HEARING: None

OLD BUSINESS: None

NEW BUSINESS:

1. Site Plan Review – J & H Family Store, 917 E. Main Street

OTHER BOARD BUSINESS

PUBLIC COMMENTS AND COMMUNICATIONS

ADJOURNMENT

Next regular meeting will be on Tuesday, May 28, 2019, if any requests are received.

Commissioners, please call Tanya at 989-725-0540 if you will be unable to attend this meeting

The City of Owosso will provide necessary reasonable auxiliary aids and services, such as signers for the hearing impaired and recordings of printed materials being considered at the meeting, to individuals with disabilities at the meeting/hearing upon seventy-two (72) hours notice to the City of Owosso. Individuals with disabilities requiring auxiliary aids or services should contact the City of Owosso by writing or calling the following: Amy Kirkland, City Clerk, 301 W. Main St, Owosso, MI 48867 (989) 725-0500. The City of Owosso website is: www.ci.owosso.mi.us

**MINUTES
REGULAR MEETING OF THE OWOSSO PLANNING COMMISSION
COUNCIL CHAMBERS, CITY HALL
MONDAY, FEBRUARY 25, 2019 – 6:30 P.M.**

CALL TO ORDER: Chairman Wascher called the meeting to order at 6:30 p.m.

PLEDGE OF ALLEGIANCE: Recited

ROLL CALL: Amy Kirkland, City Clerk

MEMBERS PRESENT: Chairman Wascher, Vice-Chair Livingston, Secretary Janae Fear, Commissioners Adams, Kirkland, Lafferty, Law and Taylor

MEMBERS ABSENT: Commissioners Jenkins and Taylor

OTHERS PRESENT: Assistant City Manager Amy Cyphert

APPROVAL OF AGENDA:

MOTION BY VICE-CHAIR LIVINGSTON, SUPPORTED BY SECRETARY FEAR TO APPROVE THE AGENDA FOR FEBRUARY 25, 2019 WITH THE ADDITION OF #6 RECREATIONAL MARIJUANA IN OTHER BOARD BUSINESS.

YEAS ALL. MOTION CARRIED.

APPROVAL OF MINUTES:

MOTION BY VICE-CHAIR LIVINGSTON, SUPPORTED BY COMMISSIONER LAW TO APPROVE THE MINUTES FOR THE DECEMBER 10, 2018 MEETING.

YEAS ALL. MOTION CARRIED.

PUBLIC HEARINGS:

- 1. Public hearing and action on Proposed Amendments to Chapter 38 – Zoning Ordinance buffer zone requirements for medical marihuana businesses Sec 38-197, Sec 38-217, Sec 38-242, Sec 38-267, Sec 38-292**

Ken Spindler is closing on 1370 E. South Street shortly and wanted to know the timeline for the lottery. Ms. Cyphert stated the amendments need to be approved by Council and become effective then Council will determine the date of the lottery and the 30 day window prior to lottery. Commissioner Adams asked for the possibility of further amendments or adjustments. Ms. Cyphert stated we've tried to give you everything we know at this point, but marijuana is a bouncing ball at this point, you do what you can when you have sufficient information. The board may want to reopen medical marihuana when you talk about recreational, depends on what you want as this will be constantly evolving.

Commissioner Adams asked what have other communities decided to do. Ms. Cyphert stated medical marihuana is a work in progress but most communities are holding off on recreational until the State finalizes the rules. Ms. Cyphert advised to hold off on recreational until the State issues the final rules (not temporary).

MOTION BY VICE-CHAIR LIVINGSTON, SUPPORTED BY SECRETARY FEAR TO FORWARD THE PROPOSED AMENDMENTS TO THE MEDICAL MARIHUANA ORDINANCE TO COUNCIL FOR THEIR CONSIDERATION AND APPROVAL.

RCV

YEAS: COMMISSIONER ADAMS, SECRETARY FEAR, COMMISSIONERS KIRKLAND, LAFFERTY, LAW, VICE-CHAIR LIVINGSTON AND CHAIRMAN WASCHER

NAYS: NONE

MOTION CARRIED

2. Public hearing and action on Proposed Amendments to Chapter 38 – Zoning Ordinance industrial outdoor storage screening Sec. 38-292, Sec. 38-312, Sec. 38-393 and 38-389

No citizen comments

MOTION BY VICE-CHAIR LIVINGSTON, SUPPORTED BY COMMISSIONER LAFFERTY TO FORWARD THE PROPOSED AMENDMENTS TO THE INDUSTRIAL OUTDOOR STORAGE SCREENING ORDINANCE TO COUNCIL FOR THEIR CONSIDERATION AND APPROVAL.

RCV

YEAS: SECRETARY FEAR, COMMISSIONERS KIRKLAND, LAFFERTY, LAW, VICE-CHAIR LIVINGSTON, COMMISSIONER ADAMS AND CHAIRMAN WASCHER

NAYS: NONE

MOTION CARRIED

OLD BUSINESS

3. Review of Proposed Amendments to Chapter 26 – Sign Ordinance and provide edits and/or schedule a public hearing for March meeting

Ms. Cyphert stated that she worked with the City Attorney and contacted other communities and believes what is proposed will serve your purposes. Ms. Cyphert also requested the board postpone the Sign Ordinance amendments, until a new Planning Consultant is hired.

Discussion held on some possible changes to the draft. In particular, festoons on buildings and the look of festoons. Flutter signs should be enough without festoons. Separate lights from festoons in the wording.

MOTION BY VICE-CHAIR LIVINGSTON, SUPPORTED BY COMMISSIONER LAW TO POSTPONE AMENDMENTS TO THE SIGN ORDINANCE UNTIL A NEW PLANNING CONSULTANT IS HIRED.

YEAS ALL. MOTION CARRIED.

NEW BUSINESS

4. Presentation and action of the City of Owosso 2019-25 Capital Improvements Plan

Ms. Cyphert stated the Capital Improvement Plan (CIP) is required by Redevelopment Ready and it is also a good tool for managing your budget and projects. The CIP is helpful for Council so they have an idea of what the budget needs are in the next few years. Also helpful when applying for grants, project coordination and outside entities so that they can coordinate their projects with the City. Many projects are drawn from other plans and ultimately the document is just a proposal as Council will determine what projects move forward.

MOTION BY SECRETARY FEAR, SUPPORTED BY VICE-CHAIR LIVINGSTON TO ADOPT THE CITY OF OWOSSO 2019-25 CAPITAL IMPROVEMENTS PLAN (CIP) AND RECOMMENDS COUNCIL ADOPTION.

YEAS ALL. MOTION CARRIED.

5. 2018 Planning Commission Annual Report per 125.319 (2) of the Michigan Planning Enabling Act 33 of 2008

Ms. Cyphert stated this will be given to Council as a report. The City's certification is still a couple of years out.

MOTION BY VICE-CHAIR LIVINGSTON, SUPPORTED BY COMMISSIONER LAFFERTY TO ADOPT THE 2018 PLANNING COMMISSION ANNUAL REPORT WITH VERIFICATION OF ATTENDANCE RECORDS AND RECOMMEND SENDING TO COUNCIL.

YEAS ALL. MOTION CARRIED.

OTHER BOARD BUSINESS

6. Recreational Marijuana

Secretary Fear doesn't want to find that we are behind the ball when the State comes out with rules. Do we want to start now or wait?

Vice-Chair Livingston stated we can start when the State starts leaking out the rules, doesn't want to wait until the last minute.

Secretary Fear stated we need to get a feel for what residents want in the meantime.

Commissioner Kirkland stated he would like to avoid re-working everything like we did with medical marijuana.

Commissioner Livingston stated that hopefully it will be easier for the state since they've tackled medical marijuana.

Commissioner Adams agrees and doesn't want to wait too long. Do we want to revisit the subject every time the state releases some information?

Ms. Cyphert responded with see how the big cities write their ordinances; they have lots of advisors, input, and resources. Ms. Cyphert cautioned against talking about recreational marijuana at every meeting as an agenda item. It will give others the impression that you are actively working on an ordinance amendment; cautioned against being the first community to put an ordinance out there.

7. Ms. Cyphert stated that March 8th is her last day. She has enjoyed her time here. You are on your way to getting a lot of things done and will not be leaving you in bad hands. She thinks a Planning Consultant or full time Planning Advisor will be hired.
8. At the last meeting there were questions about the Smith and Voss temporary sign that was used as a permanent sign. The code enforcement to correct the violation took a year and a half.

PUBLIC COMMENTS AND COMMUNICATIONS

Tony Goff, 1370 E. South Street - about 95% of communities that have allowed med marihuana have opted out of recreational marijuana, feels it's a good strategy to wait until the state has released their rules

ADJOURNMENT

**MOTION BY VICE-CHAIR LIVINGSTON, SUPPORTED BY COMMISSIONER LAW TO ADJOURN AT 7:20 P.M. UNTIL THE NEXT MEETING ON MARCH 25, 2019.
YEAS ALL, MOTION CARRIED.**

Janae L. Fear, Secretary

CITY OF OWOSSO, MICHIGAN

SITE PLAN REVIEW APPLICATION AND CHECKLIST

Approval of the site plan is hereby requested for the following parcel(s) of land in the City of Owosso. This application is submitted with three (3) copies of the complete site plan and payment of the appropriate review fees. Applicant shall also submit a digital version of the site plan to the community development director. Application must be filed least 25 days prior to a scheduled planning commission meeting for staff review and proper notices.

Accompanying any site plan required hereunder, the applicant shall provide from a licensed engineer soil borings at the proposed construction site to ascertain bearing capacity of foundations soils at the time of footing excavation to certify such soil conditions meet or exceed design capacity of the foundation to support the proposed structure. These requirements shall comply with policies of the City of Owosso, copies of which can be obtained from the Building Department.

The attached checklist has been completed to certify the data contained on the site plan. If the required data has not been provided, the appropriate box has been checked with a statement of explanation on why the data has not been provided. I understand that if my site plan is deemed to be incomplete, it may be returned by the City for revisions without being forwarded to the Planning Commission for consideration, until such time as the requirements have been adequately met. By signing this application, the applicant hereby grants full authority to the City of Owosso, its agents, employees, representatives and/or appointees to enter upon the undersigned lands/parcel(s) for the purposes of inspection and examination.

Application Filed On: 1/14/2019

Application Transmitted by City On: _____

Property Details:

1. Name of Proposed Development: J&H Family Store
2. Property Street Address: 917 E Main street
3. Location of Property: On the (north, south, east west side) of Gould St
Street, between E Main Street and Exchange St
Streets.
4. Legal Description of Property: attached, Parcel nos 050-112-000-034-00, -003-00 and -035-00
5. Site Area (in acres and square feet): 1.17 acres, 51,154 sf
6. Zoning Designation of Property: B-4 General Business

Ownership:

1. Name of Title/Deed Holder: J&H Family Store
2. Address: 2696 Chicago Dr SW, Wyoming, MI 49519
3. Telephone No: 616-534-2181
4. Fax No: _____
5. Email address: choppen@jhoil.com (Craig Hoppen)

Applicant:

1. Applicant (If different from owner above): _____
2. Address: _____
3. Telephone No: _____
4. Fax No: _____

5. Email address: _____
6. Interest in Property (potential buyer/lease holder/potential lessee/other): _____
- _____
- _____
- _____

Architect/Surveyor/Engineer preparing site plan:

1. Name of Individual: Dave Hanko, Feenstra & Associates, Inc.
2. Address: 7482 Main Street, Jenison, MI
3. Telephone No: 616-457-7050
4. Fax No: _____
5. Email address: dave@feenstrainc.com

PLEASE NOTE:

LLC establishments must have a current plan of operation.

Review Fees:

Paid: Yes/No

*Site Plan Review Fees: \$150.00 (may be more if it requires review from outside firm)

Total Fees: \$ 150.00

Signature of Applicant _____ Date 1-14-2019

 1-14-2019
Signature of Deed/Title Holder Date

Please provide an overview of the project:

Redevelopment and expansion of existing gas station and convenience store.

SITE PLAN REVIEW CHECKLIST

Check the appropriate line. If item is marked as 'not provided', attach detailed explanation.

Item	Provided	Not Provided
1. Site location Map.	X	
2. North arrow, scale (one (1) inch equals fifty (50) feet if the subject property is less than three (3) acres and one (1) inch equals one hundred (100) feet if three (3) acres or more.	X	
3. Revision dates.	X	
4. Signature and Seal of Architect/Surveyor/Engineer.	X	
5. Area of site (in acres and square feet).	X	
6. Boundary of the property outlined in solid line.	X	
7. Names, centerline and right-of-way widths of adjacent streets.	X	
8. Zoning designation of property.	X	
9. Zoning designation and use of adjacent properties.	X	
10. Existing and proposed elevations for building(s) parking lot areas and drives.	X	
11. Direction of surface water drainage and grading plan and any plans for storm water retention/detention on site.	X	
12. Required setbacks from property lines and adjacent parcels.	X	
13. Location and height of existing structures on site and within 100 feet of the property.	X	
14. Location and width of existing easements, alleys and drives.	X	
15. Location and width of all public sidewalks along the fronting street right-of-way and on the site, with details.	X	
16. Layout of existing/proposed parking lot, with space and aisle dimensions.	X	
17. Parking calculations per ordinance.	X	
18. Location of all utilities, including but not limited to gas, water, sanitary sewer, electricity, telephone.	X	
19. Soil erosion and sedimentation control measures during construction.	X	
20. Location and height of all exiting/proposed fences, screens, walls or other barriers.	X	
21. Location and details of dumpster enclosure and trash removal plan.	NA	
22. Landscape plan indicating existing/proposed trees and plantings along frontage and on the site.	NA	
23. Notation of landscape maintenance agreement.	NA	
24. Notation of method of irrigation.	NA	
25. Lighting plan indicating existing/proposed light poles on site, along site's frontage and any wall mounted lights.	X	
a. Cut-sheet detail of all proposed light fixtures.	X	
26. Architectural elevations of building (all facades). Identifying height, Materials used and colors.	X	
27. Existing/proposed floor plans.	X	
28. Roof mounted equipment and screening.		
29. Location and type of existing/proposed on-site signage.	X	
30. Notation of prior variances, if any.	NA	
31. Notation of required local, state and federal permits, if any.	NA	

32. Additional information or special data (for some sites only)

- a. Environmental Assessment Study.
- b. Traffic Study. Trip Generation.
- c. Hazardous Waste Management Plan.

NA	_____
_____	_____
_____	_____

33. For residential development: a schedule indicating number of dwelling units, number of bedrooms, gross and usable floor area, parking provided, total area of paved and unpaved surfaces.

NA	_____
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34. LLC establishments must have a current Plan of Operation.

NA	_____
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35. Is property in the floodplain?

NO	_____
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36. Will this require MDEQ permitting?

NO	_____
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37. Performance Bond – when required.

NO	_____
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*Additional data deemed necessary to enable to completion of an adequate review may be required by the Planning Commission, City and/or its consultants.

<u>2019 Meeting Date</u>	<u>Submittal Deadline</u>
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January 28	December 28
February 25	January 25
March 25	February 22
April 22	March 22
May 28	April 26
June 24	May 24
July 22	June 21
August 26	July 26
September 23	August 23
October 28	September 27
November 25	October 25
December 9	November 8



CITY OF OWOSSO PLANNING COMMISSION STAFF REPORT

DATE: April 15, 2019
TO: Planning Commissioners
SUBJECT: Site Plan Request – 917 E. Main Street, Parcel # 050-112-000-034-00

Background & Building Information

In 1960, the existing 1,532 square foot building was constructed to compliment the gas/fueling station use. In 2017, Stechschulte Gas and Oil Company, Inc. sold the station to The Hop Family, LLC. The Hop Family is proposing a redevelopment of the existing gas station and convenience store – J & H Family Store. The B-4 zoning district requires site plan review.

Zoning and Zoning Use

	CURRENT LAND USE	ZONING
Site	Gas station	B-4
North	E. Exchange St/Residential	RM-1
East	Gould St/end of city limits	N/A
South	E. Main St/M-21/Qdoba	B-4
West	Vacant lot	B-4

	REQUIRED	EXISTING	PROPOSED
Zoning	n/a	B-4	No change
Gross lot area	---	1.17 acres = 51,154 sq. ft.	No change
Max. Height of Structures	35'		No change
Setbacks- Front yard Side yard Rear yard	15' 10' 10'	15' 0' 10"	No change As specified in the building code No change

	REQUIRED	EXISTING	PROPOSED
Parking 2 spaces per gasoline pump 1 space per 200 sf retail space		34 spaces	34 spaces

Principal Uses Permitted:

Per Section 38-267, in a B-4 district, no building or land shall be used and no building shall be erected except for one (1) or more of the following specified uses unless otherwise provided in this chapter:

- (1) Any retail business or service establishment permitted in the B-1, B-2 and B-3 districts as principal uses permitted

City Staff (Building Official, Engineer & Planner) reviewed the original site plan submitted. **The items in red are the City's Staff comments:** **The items in blue are the Owner's comments.** The other items listed are approved as submitted.

Zoning Requirements:

1. Provide the use and location of buildings and driveways within 100 feet of the site.
2. The parcels north of the site are zoned RM-1, Multiple-family Residential District.
3. Provide location information for ground mounted and/or roof mounted mechanical equipment that meets Sec. 38-396.
4. Provide electrical and natural gas connection locations. Revise the parking space size to meet Sec. 38-381 (2) Level of Service A.
5. Revise the parking space size to meet Sec. 38-381 (2) Level of Service A.
6. The aisle width provided between the car at the gas pump and the curb west of the southernmost canopy is not wide enough for two-way traffic. The width needs to reflect a two-way traffic aisle width.
7. The ordinance requires a loading space to be located within the rear yard. How will the site be addressing a loading space?
8. Provide architect drawings for the two canopies.
9. Provide stamped architectural drawings.
10. Remove the dumpster enclosure details provided on sheet C3. The details conflict with the details provided on Sheet A4.01. Dumpster must meet front yard setback requirements.
11. Show any proposed exterior sales locations (i.e. propane cage, washer fluid, etc.) on the plan. It must meet the requirements of Sec.38-399 (f).
12. Pole signs are currently not permitted in the City. The moving and re-use of the pole sign will require a variance.
13. Per Sec. 38-397 (a) (3) window area or spandrel glass shall make up at least twenty percent (20%) or more of the exterior wall area facing a principal street(s). **Window area east wall shall be a minimum of 20% glass/window – variance required.** **Owner is adding glass to the east façade but not able to provide additional glazing up to the 20% requirement and will be requesting a variance.**
14. Per Sec. 38-397 (a)(4) in addition, a portion of the on-site landscaping shall abut the walls so that the vegetation combined with the architectural features significantly reduce the visual impact of the building mass as viewed from the street. **It is the owner's experience that landscaping along the foundation wall dies from snow and salt damage. The owner is proposing decorative stamped concrete in-lieu of foundation landscaping, and will seek a variance.**
15. Per Sec. 38-397 (a) (5) overhead doors shall not face a public street or residential district. The planning commission can modify this requirement upon a determination that there is good or necessary cause and the visual impact will be moderated through use of building materials, architectural features and landscaping beyond that required by the ordinance. Per Sec. 38-397 (c) (2) mechanical and service features such as gutters, ductwork, service doors, etc. that cannot be screened must be of a color that blends in or compliments the color of the building.
16. Per Sec. 38-5 floor area, usable. (For the purposes of computing parking) is defined as that area used for or intended to be used for the sale of merchandise or services, or for use to serve patrons, clients, or customers. Such floor area which is used or intended to be used principally for the storage or processing of merchandise, hallways, or for the utilities or sanitary facilities, shall be excluded from this computation of "usable floor area." Please revise the parking space calculation to correctly reflect the above.
17. Please detail the type of goods that will be stored in the area labeled "storage."
18. Provide documentation that the site lighting will meet Sec. 38-381 (9).
19. A landscape plan for the site must be provided. Sec. 38-384 details plant materials.
20. Per Sec. 38-381 (7) the off-street parking area shall be provided with a continuous and obscuring wall not less than four (4) feet, six (6) inches in height measured from the surface of the parking area. This wall shall be provided on all sides where the next zoning district is designated as a residential district. When a front yard setback is required, all land between said wall and the front property line or street right-of-way line shall be kept free from refuse and debris and shall be landscaped with deciduous shrubs, evergreen material and ornamental trees. The ground area shall be planted and kept in lawn.

All such landscaping and planting shall be maintained in a healthy growing condition, neat and orderly in appearance.

21. Exchange Street requires City of Owosso access approval. Please revise the plans accordingly.
22. The access point on Exchange Street should be reduced to have less of an impact on the adjacent residentially zoned properties.
23. The access point on N. Gould Street should be reduced to provide less chances of conflicting traffic patterns.
24. Please provide the stripping for the access points (turn lanes, in, out, etc.).

Building Code Requirements:

1. Section # 38-397 Sub Sect. (J) requires sidewalks (BF) Barrier Free and dimensions required.
2. Section # 38-397 Sub Sect. (g) requires approval on construction details for monument type Sign Base none shown, if not know then possibly list as a deferred item to others such as sign company. City to review at future date.
3. MDOT Approval on both Curb cuts – Both have a direct relationship with regards to safety on M-21 a MDOT Regulated Road. This office is concerned with the distance in regards to the suggested drive on Gould Street (to be re-constructed)

City Engineer and Utilities Related Requirements:

1. Plan is to redevelop the site previously known as Stechschulte Gas & Oil. New development will be J&H Family Store. The underlying soils may be contaminated and require possible environmental cleanup. [Owner is applying for brownfield redevelopment funds.](#)
2. The development site is inside flood prone area with FEMA Firm Map designation as Zone AE. <http://fema.maps.arcgis.com/home/webmap/viewer.html?webmap=cbe088e7c8704464aa0fc34eb99e7f30&extent=-84.19318039697318,42.99238784600958,-84.15404160302683,43.002745733770105>
3. All site storm drainage must be contained on site, especially with fuel station, and that it is in flood zone. Some perimeter grades at drive openings must be modified to ensure site drainage is contained on site and not allowed to spill over public sidewalk.
4. Proposed storm drainage system is shallow with no outfall. Their plan is to use leaching basins and perforated storm sewer material. The system is inadequate and must be redesigned such that storm sewer is constructed below frost line, use standard concrete structures, and designed with outfall into 54" storm sewer along Gould Street. Connection must have manhole located somewhere immediately west of 54" storm sewer and Kor-N-Seal tap (rubber connector) into storm sewer; Inserta Tee connection also acceptable; this type connection was done at Qdoba development and product information may be in our files. Roof drains should be tied into the storm sewer.
5. All curb and gutter replacement along road shall be MDOT Detail F-4 with reinforcing bar per detail. Concrete grade shall be MDOT P1 with six full sack cement per cubic yard.
6. All work along Main Street (M-21) will require MDOT permit.
7. All drive approaches inside public right-of-way shall be constructed per MDOT standards; minimum 9 inches thick for commercial use with trucks; concrete shall be MDOT grade P1 with six full sack cement per cubic yard.
8. All sidewalks inside public right-of-way shall be constructed per MDOT standards; minimum 9 inches thick across drive openings and additional 10 feet each side of opening; concrete shall be MDOT grade S2 with six full sack cement per cubic yard. All work along Main Street (M-21) will require MDOT permit. Sidewalk thickness outside influence area of drive approaches may be minimum 4 inches thick.
9. Special note regarding proposed sidewalk work along Gould Street; there is public sidewalk (see cover sheet) along west side of Gould Street at Exchange Street. That public sidewalk must be completed across the development site and connect with public sidewalk at Main Street. The plans should be modified to incorporate this connecting sidewalk.
10. All sidewalk constructed across drive openings must be constructed on even plane across the opening ensuring pedestrian right-of-way and safety (no ramps allowed across openings); and cannot be uninterrupted by curb and gutter. All sidewalk shall be minimum 5 feet wide (plans note 4 feet) so as to meet ADA standards.
11. Location of fire suppression connection.

City Engineer and Public Service Director have approved the site plan, pending construction drawings.

Fire Department Requirements: **APPROVED AS SUBMITTED**

1. The dumpster enclosure to the north of the convenience store should provide enough room that the dumpsters are at least 10' from the building or any opening. It appears on the drawings that the dumpsters themselves are only 6-7' from the building. (NFPA 1- 19.2.1.4.2). What is the intended material for the construction of the enclosure? It appears that you have two different types of material listed for its construction. Is the drawing A4.01 correct? Drawing on C3 gives a different description.
2. Please provide documentation of the route for large trucks to access the commercial fueling pumps.

Commission Action

Consider granting site plan approval for the project with the following motion:

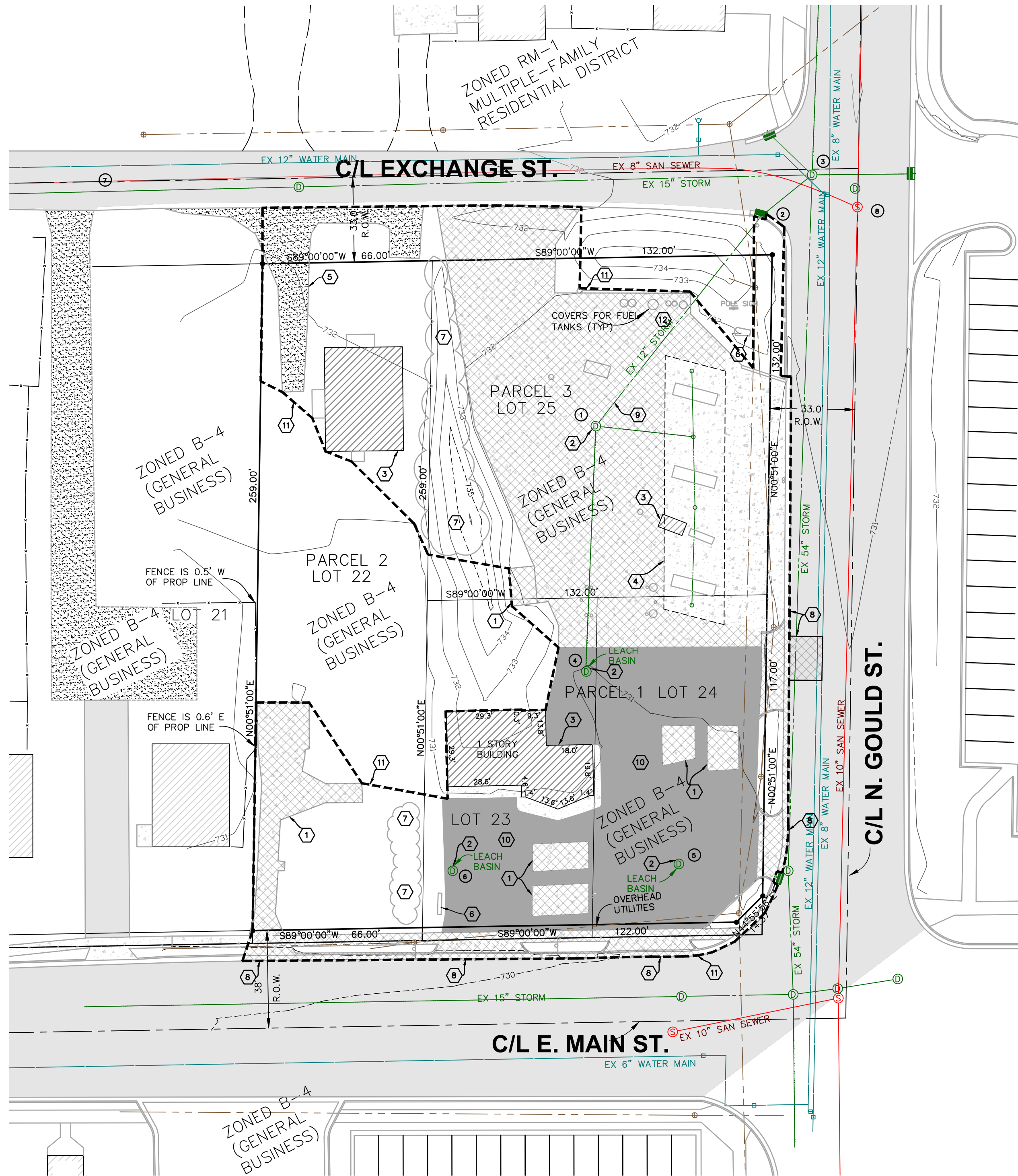
Motion by _____ to approve the site plan for the J & H Family Store located at 917 E. Main Street as depicted on the plan prepared by Feenstra & Associates Inc. Civil Engineers & Surveyors, subject to the following:

Zoning Board of Appeals Variance Approvals

Building Official, Engineer, Public Utilities Director and Fire Department's approval of the construction drawings

Supported by _____.





STRUCTURE INVENTORY

- 1 STORM SEWER MANHOLE
RIM: 731.13
INV 12" (NE) 728.53
INV (DRAINS) 728.73
- 2 STORM SEWER CATCHBASIN
RIM: 730.96
INV 12" (SW) 728.45
INV 10" (NE) 727.96
- 3 STORM SEWER MANHOLE
RIM: 731.53
INV 54" (N) 721.63
INV 54" (S) 721.63
INV 10" (SW) 728.43
INV 10" (E) 725.43
INV 10" (NW) 728.33
INV 15" (W) 723.53
- 4 STORM SEWER LEACH BASIN
RIM: 730.96
- 5 STORM SEWER LEACH BASIN
RIM: 730.06
- 6 STORM SEWER LEACH BASIN
RIM: 730.02
- 7 SANITARY SEWER MANHOLE
RIM: 732.49
INV 8" (E) 728.79
- 8 SANITARY SEWER MANHOLE
RIM: 731.72
INV 8" (W) 726.97
INV 10" (N) 726.72
INV 10" (S) 726.67

LEGAL DESCRIPTION OF PROPERTY

The land is situated in the City of Owosso, County of Shiawassee, State of Michigan, as follows:

Parcel 1

Lots 23 and 24, Block 1, City Assessor's Plat No. 2, City of Owosso, Shiawassee County, Michigan, according to the recorded plat, as recorded in Liber 1 of Plats, Page 44, Shiawassee County Records.

EXCEPTING The South 5 feet of Lots 23 and 24, Block 1, City Assessor's Plat No. 2, City of Owosso, Shiawassee County, Michigan, according to the recorded plat, as recorded in Liber 1 of Plats, Page 44, Shiawassee County Records.

ALSO EXCEPTING Part of said Lot 24, Block 1, City Assessor's Plat No. 2, City of Owosso, Shiawassee County, Michigan, according to the recorded plat, as recorded in Liber 1 of Plats, Page 44, Shiawassee County Records Described as follows: Beginning at a point on the East line of said Lot 24, which is 15 feet North of the Southeast corner of said Lot 24; thence South on the East lot line, a distance of 10 feet; thence West parallel with the South lot line a distance of 10 feet; thence Northeasterly to the point of beginning.

Parcel 2

Lot 22, Block 1, City Assessor's Plat No. 2, City of Owosso, Shiawassee County, Michigan, according to the recorded plat, as recorded in Liber 1 of Plats, Page 44, Shiawassee County Records.

EXCEPT The South 5 feet of Lot 22, Block 1, City Assessor's Plat No. 2, City of Owosso, Shiawassee County, Michigan, according to the recorded plat, as recorded in Liber 1 of Plats, Page 44, Shiawassee County Records.

ALSO EXCEPT The North 4 rods of Lot 22, Block 1, City Assessor's Plat No. 2, City of Owosso, Shiawassee County, Michigan, according to the recorded plat, as recorded in Liber 1 of Plats, Page 44, Shiawassee County Records.

Parcel 3

Lot 25, Block 1, City Assessor's Plat No. 2, City of Owosso, Shiawassee County, Michigan, according to the recorded plat, as recorded in Liber 1 of Plats, Page 44, Shiawassee County Records.

EXCEPT The North 4 rods of Lot 25, Block 1, City Assessor's Plat No. 2, City of Owosso, Shiawassee County, Michigan, according to the recorded plat, as recorded in Liber 1 of Plats, Page 44, Shiawassee County Records.

AREA = 51,154 SF / 1.17 ACRES

NOTES

1. All utilities shown are approximate locations derived from actual measurements and available records. They should not be interpreted to be the exact locations nor should it be assumed that they are the only utilities in the area.

BENCHMARK

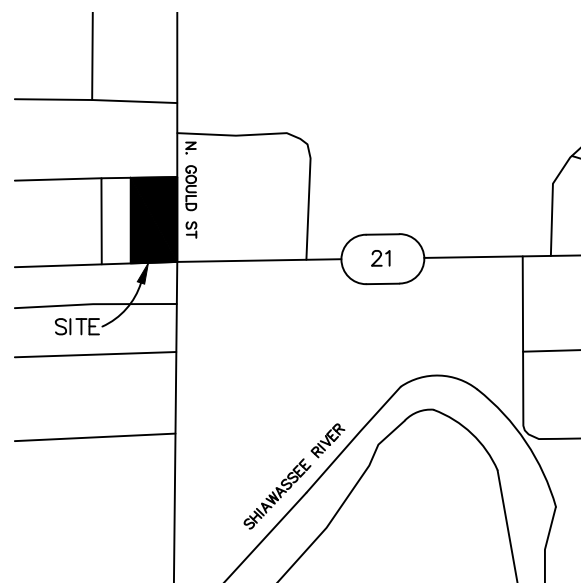
ELEVATION 732.54
FLANGE BOLT ON HYDRANT @ NW CORNER OF THE INTERSECTION OF GOULD AND EXCHANGE

100 YEAR FLOODPLAIN

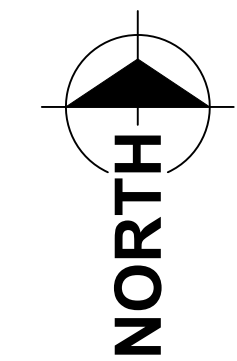
SITE IS LOCATED IN FLOOD ZONE AE PER FEMA FIRM MAP WITH A 100 YEAR FLOOD ELEVATION OF 731.9.

DEMOLITION PLAN

- 1 REMOVE CONCRETE PAD
- 2 REMOVE LEACH BASINS (4)
- 3 BUILDING AND SHED TO REMAIN
- 4 CANOPY & PUMPS TO REMAIN
- 5 REMOVE GRAVEL DRIVE
- 6 REMOVE POLE SIGN
- 7 REMOVE TREES
- 8 REMOVE CURB, GUTTER, & PAVEMENT
- 9 REMOVE STORM SEWER
- 10 REMOVE ASPHALT PARKING LOT
- 11 REMOVAL LIMITS
- 12 REMOVE FUEL TANKS



LOCATION MAP
NOT TO SCALE



SCALE: 1" = 30'

LEGEND	
T - TOWN	SECTION CORNER
R - RANGE	SET CAPPED IRON
N - NORTH	FOUND IRON OR NAIL
S - SOUTH	STORM SEWER MANHOLE
E - EAST	SANITARY SEWER MANHOLE
W - WEST	CATCHBASIN
SEC - SECTION	HYDRANT
P.O.B. - POINT OF BEGINNING	VALVE
PROPOSED CONCRETE	UTILITY POLE
EXISTING BLACKTOP	GUY WIRE
EXISTING CONCRETE	LIGHT POLE
BUILDING	WALL MOUNTED LIGHT
	PEDESTAL
	TRANSFORMER
	SIGN

REVISIONS	
1/14/19	INITIAL SUBMITTAL
2/20/19	PLAN REVIEW
4/17/19	PLAN REVIEW

**BOUNDARY/TOPO SURVEY
& REMOVAL PLAN
917 E. MAIN ST.**

FOR: OMEGA ARCHITECTS
3483 PRAIRIE ST SW
GRANDVILLE, MI 49418

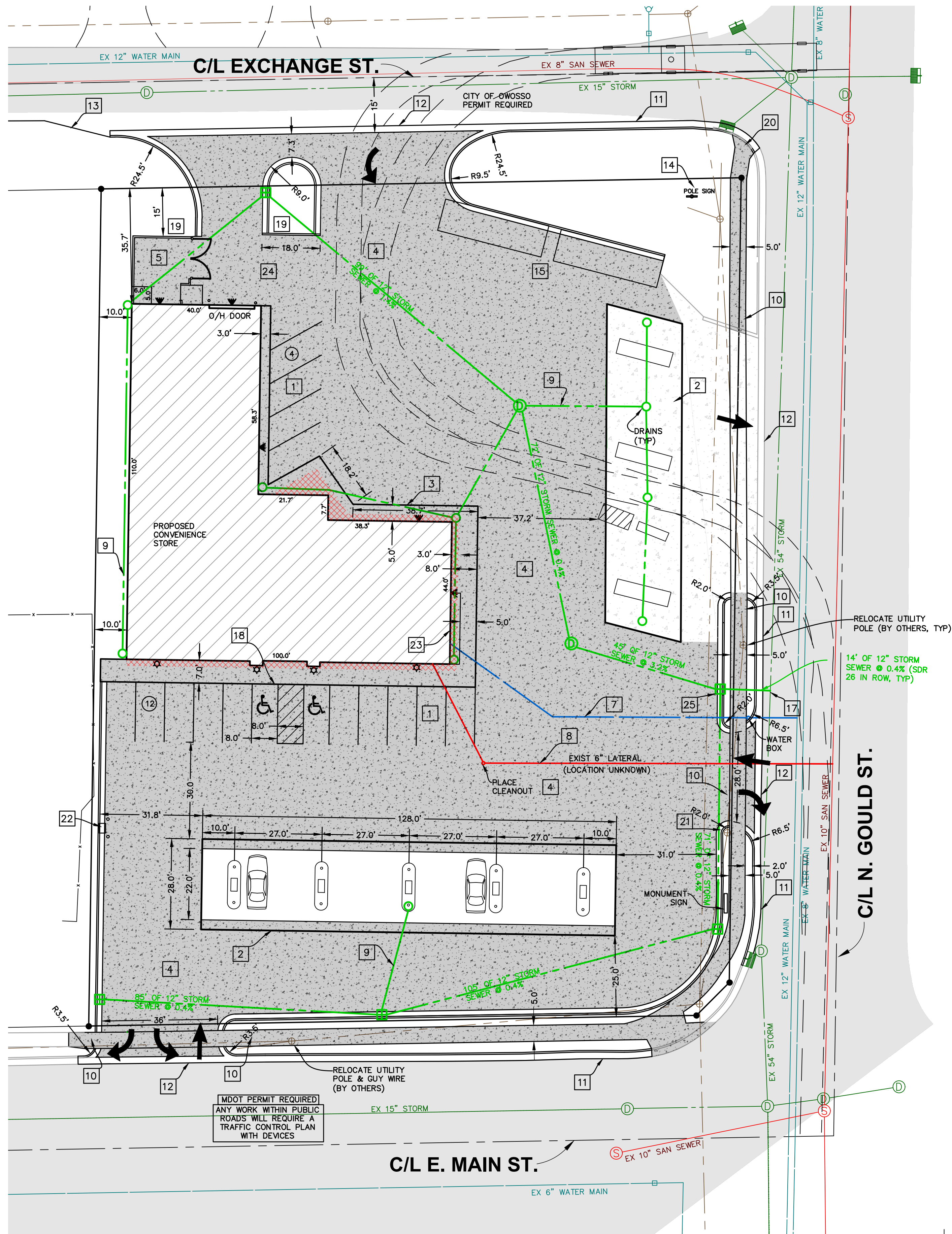
PART OF THE SOUTH 1/4, SECTION 18, T7N, R3E,
CITY OF OWOSSO, SHIawassee COUNTY, MICHIGAN

Feenstra
& Associates, Inc.
CIVIL ENGINEERS & SURVEYORS

7482 Main Street
Jenison, MI 49428

Phone: 616.457.7050
www.feenstrainsc.com

C2



SITE PLAN KEY NOTES

- 1] PARKING 9' X 18' 4" (TYP)
- 2] EXISTING CANOPY TO REMAIN
- 3] TURNED DOWN CURB (SEE DETAIL)
- 4] CONCRETE PAVEMENT (SEE DETAIL)
- 5] DUMPSTER - SEE ARCHITECTURAL PLAN
- 6] EXTERIOR LIGHTING, WALL MOUNTED, FULLY SHIELDED
- 7] NEW 1.5" WATER SERVICE TO TAP EXISTING MAIN COORDINATE WORK WITH DPW
- 8] CONNECT TO EXISTING 6" SANITARY LATERAL (LOCATION UNKNOWN)
- 9] EXISTING ROOF DRAINS SHALL BE TIED TO THE STORM SEWER
- 10] SIDEWALKS IN R.O.W. SHALL BE 9" THICK TO 10' OUTSIDE OF EACH DRIVE OPENING AND SHALL BE MDOT S2 CONCRETE (6 SACK)
- 11] MDOT DETAIL F-4 CURB AND GUTTER WITH CONCRETE GRADE P1 (SEE DETAIL), INCLUDING 2' SAWCUT AND PAVEMENT REPLACEMENT IN FRONT OF CURB (SEE DETAIL)
- 12] 24" CONCRETE GUTTER PAN
- 13] BITUMINOUS PAVEMENT (SEE DETAIL)
- 14] VARIANCE REQUEST FOR NEW POLE SIGN, 5' SOUTH OF ROW LINE (SEE REQUIREMENT #4)
- 15] 10' X 33' FUEL TANKS
- 16] LITHONIA MODEL OLAW23 OUTDOOR LIGHT, 10 5000K LEDS POWERED BY A 120 VOLT DRIVER USING 35 INPUT WATTS PROVIDING 1200 DELIVERED LUMENS, 50,000 HOUR AVERAGE LED LIFE
LITHONIA MODEL DSXOLED 40C 1000 40K T3M MVOLT SPA DDBXD 40 LEDS 1000mA DRIVE CURRENT, 4000K COLOR TEMPERATURE, SQUARE POLE MOUNT WITH A DARK BRONZE FINISH
- 17] TAP EXISTING 54" STORM AND CONNECT PROPOSED 12" STORM USING INSERTA TEE (SEE DETAIL SHEET C4)
- 18] BARRIER FREE SIDEWALK RAMP (SEE DETAIL THIS SHEET)
- 19] 6' CONCRETE MASONRY WALL
- 20] SIDEWALK RAMP REQUIRES 7" THICK CONCRETE FOR THE FIRST 3 FEET BEHIND THE CURB. DETECTABLE WARNING SURFACE PER MDOT DETAIL R-28-I SHALL BE METAL DURALAST BY EJIW POWDER COATED RED
- 21] "NO LEFT TURN" SIGN
- 22] AIR/VAC PROTECTED WITH TWO BOLLARDS
- 23] PROPANE CAGE AND ICE STORAGE AREA
- 24] LOADING ZONE
- 25] OIL AND GAS INTERCEPTOR (SEE DETAIL SHEET 4)

BENCHMARK

ELEVATION 732.54
FLANGE BOLT ON HYDRANT @ NW CORNER OF THE INTERSECTION OF GOULD AND EXCHANGE

REQUIREMENTS:

1. PROJECT DESCRIPTION:
CONSTRUCT A 6800 SFT J&H FAMILY STORE AND GAS STATION.
2. ZONING: B-4 GENERAL BUSINESS ZONING
- SETBACKS:
FRONT YARD: 15 FEET
REAR YARD: 10 FEET
SIDE YARD: 0 FEET, AS SPECIFIED IN THE BUILDING CODE
3. PARKING REQUIREMENTS:
PARKING REQUIRED BY ZONING:
2 SPACES PER GASOLINE PUMP
1 SPACE PER 200 SF RETAIL SPACE
9 PUMPS X 2 = 18 SPACES
2280 / 200 = 11 SPACES
TOTAL = 29 SPACES

PROPOSED PARKING

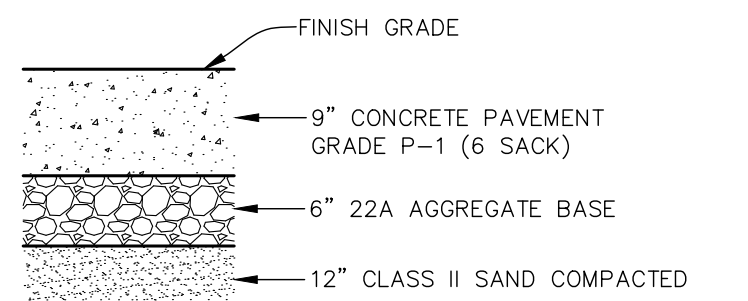
2 AT EACH PUMP = 18 SPACES
16 AT C-STORE = 16 SPACES
TOTAL = 34 SPACES

4. SIGN
1 PER BUSINESS ALLOWED WITH A 5' SETBACK
CLEAR VISION MAINTAINED 2'-6" HIGH, 25 BACK FROM THE INTERSECTION OF ROW LINES
GROUND SIGN: MAX HEIGHT = 6', MAX SIZE = 72 SFT

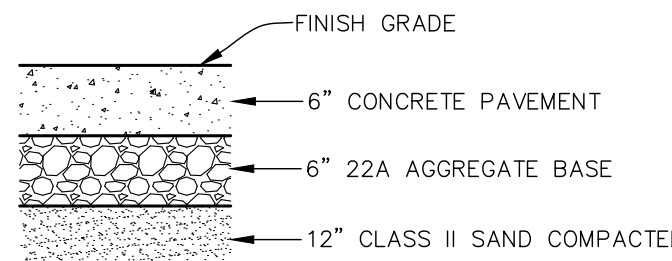
SIGN BASE DETAILS DEFERRED TO SIGN COMPANY. DETAILS TO BE PROVIDED TO CITY AT A FUTURE DATE.

GENERAL NOTES:

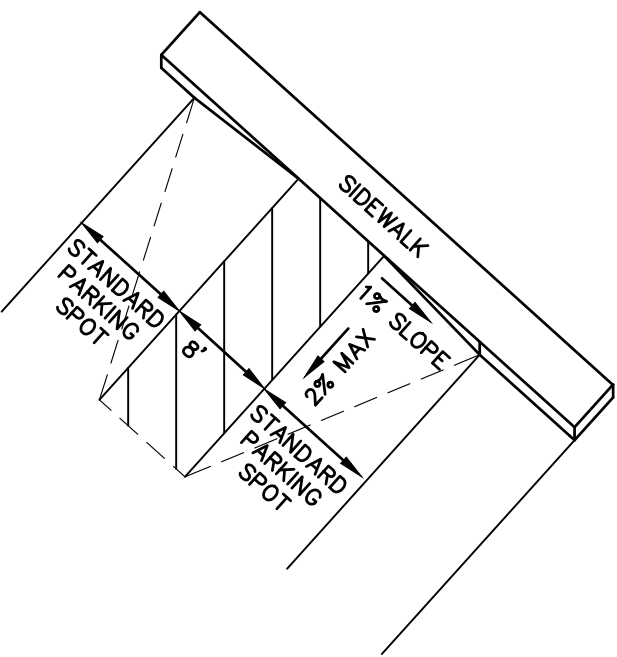
- All utilities shown are approximate locations derived from actual measurements and available records. They should not be interpreted to be the exact locations nor should it be assumed that they are the only utilities in the area.
1. All work shall comply with applicable requirements or the local code, ordinances and accident/fire prevention regulations.
 2. Remove all demolition materials and debris from the site and dispose of properly offsite.
 3. Do not bury any debris, roots, topsoil or other materials.
 4. Adequately protect the site, adjoining property, and utility services.
 5. Contractor shall field verify all utilities prior to commencing work on new utility connections.
 6. Install all utilities in accordance with local specifications and requirements.
 7. Contractor shall be responsible for obtaining necessary permits for work in right-of-way and on any utility connections or abandonments.
 8. Damage to existing utilities by the contractor shall be repaired at the contractor's expense.
 9. Work in MDOT R.O.W. will REQUIRE a permit.
 10. If contaminated soils are found, they are to be removed and properly disposed of.



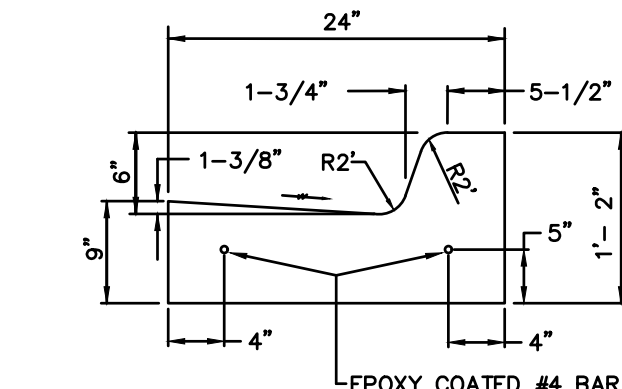
CONCRETE PAVEMENT
NOT TO SCALE WITHIN R.O.W.



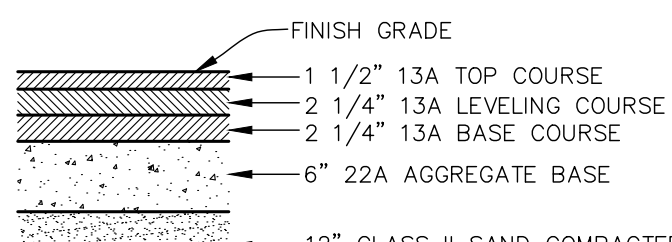
CONCRETE PAVEMENT
NOT TO SCALE ON SITE



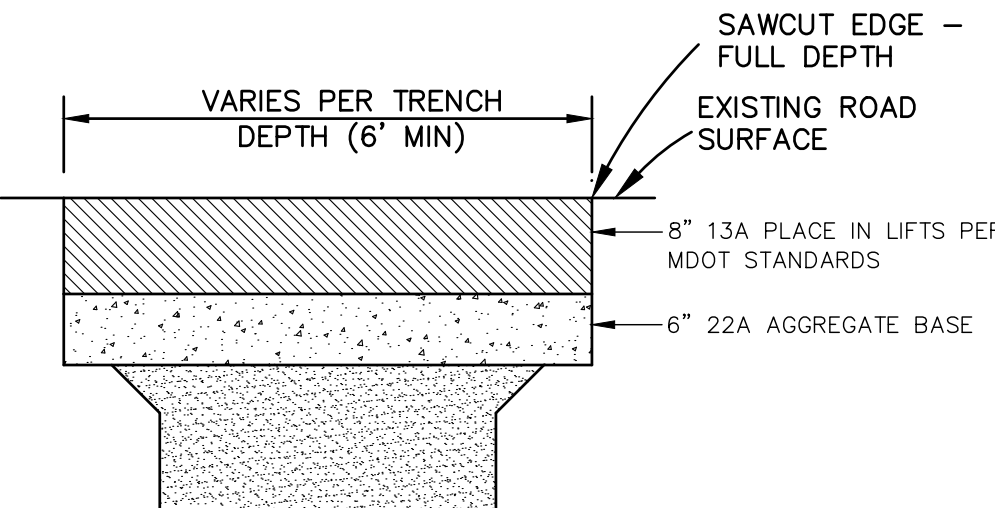
BUILT UP SIDEWALK RAMP
NOT TO SCALE



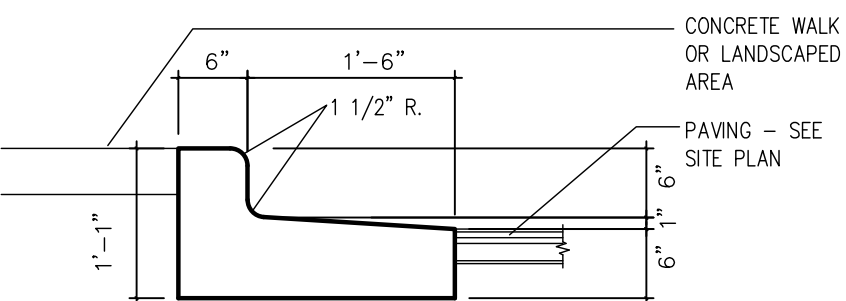
MDOT F-4 CURB & GUTTER
NOT TO SCALE WITHIN R.O.W.



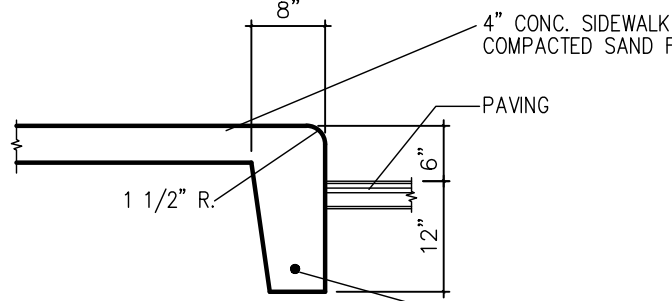
BIT PAVEMENT
NOT TO SCALE



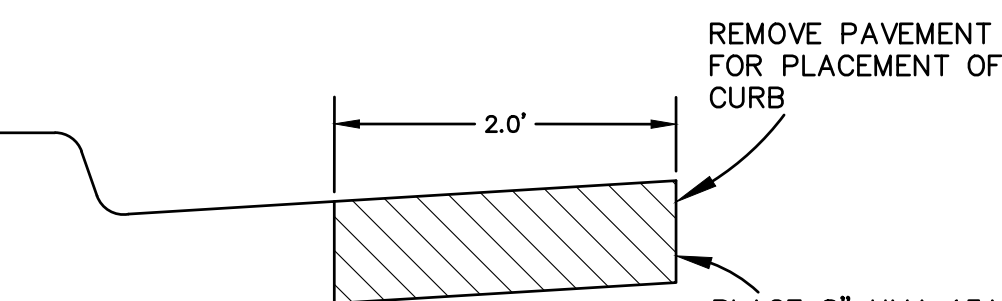
TYPICAL CITY STREET PAVEMENT
REPAIR TRENCH DETAIL



24" CURB AND GUTTER-PITCHED OUT
NOT TO SCALE ON SITE



TURNED DOWN CURB
NOT TO SCALE



TYPICAL CURB AND
GUTTER REPAIR DETAIL

LEGEND	
T - TOWN	SECTION CORNER
R - RANGE	SET CAPPED IRON
N - NORTH	FOUND IRON OR NAIL
S - SOUTH	STORM SEWER MANHOLE
E - EAST	SANITARY SEWER MANHOLE
W - WEST	CATCHBASIN
SEC. - SECTION	VALVE
P.O.B. - POINT OF BEGINNING	UTILITY POLE
PROPOSED BLACKTOP	GUY WIRE
PROPOSED CONCRETE	LIGHT POLE
EXISTING BLACKTOP	WALL MOUNTED LIGHT
EXISTING CONCRETE	PEDESTAL
BUILDING	TRANSFORMER
	SIGN

REVISIONS	
1/14/19	INITIAL SUBMITTAL
2/20/19	PLAN REVIEW
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4/09/19	PLAN REVIEW
4/17/19	PLAN REVIEW

SITE AND UTILITY PLAN
J&H FAMILY STORE
917 E. MAIN ST.

FOR: OMEGA ARCHITECTS
3483 PRAIRIE ST SW
GRANDVILLE, MI 49418

PART OF THE SOUTH 1/4, SECTION 18, T7N, R3E,
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Jenison, MI 49428
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www.feenstrainc.com



ROOF PLAN



OMEGA
Architects

3483 Prairie St. SW
Grandville, Michigan 49418

Phone: (616) 532-7775
Fax: (616) 532-1414

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Date	Issued For
03-18-2018	OWNER REVIEW
03-15-2018	SITE PLAN APPROVAL
04-15-2018	ZBA REVIEW
04-11-2018	SPA REVIEW

New Convenience Store For
J & H OIL OWOSSO
917 E. MAIN STREET
OWOSSO, Michigan 48867

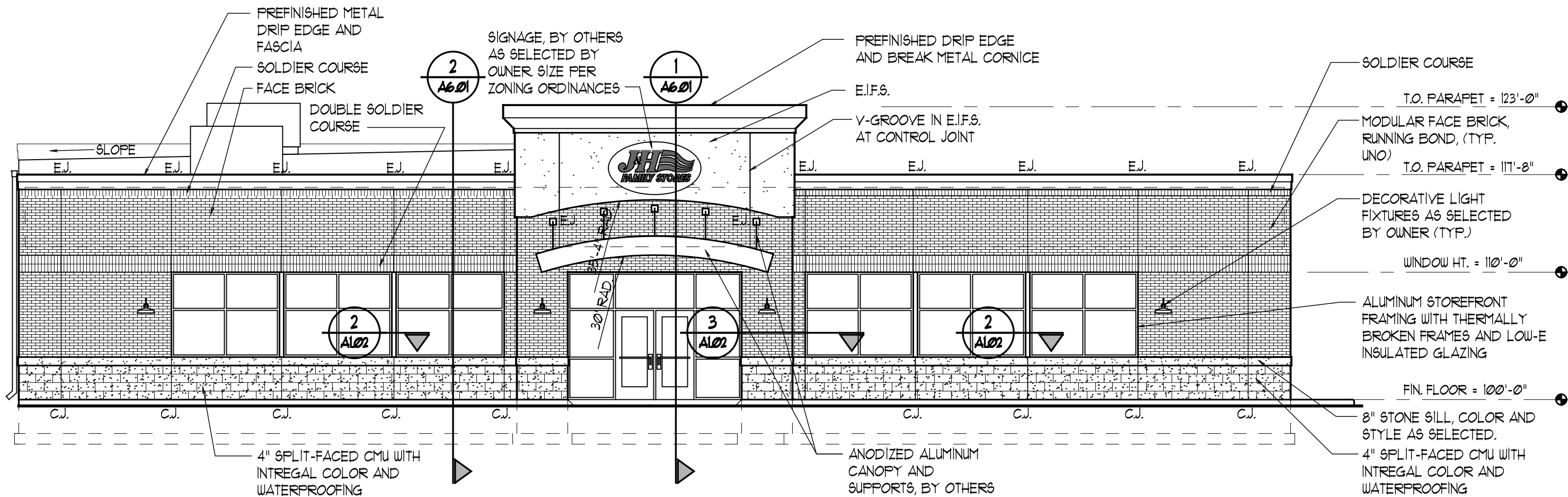
PROJECT NUMBER

18029

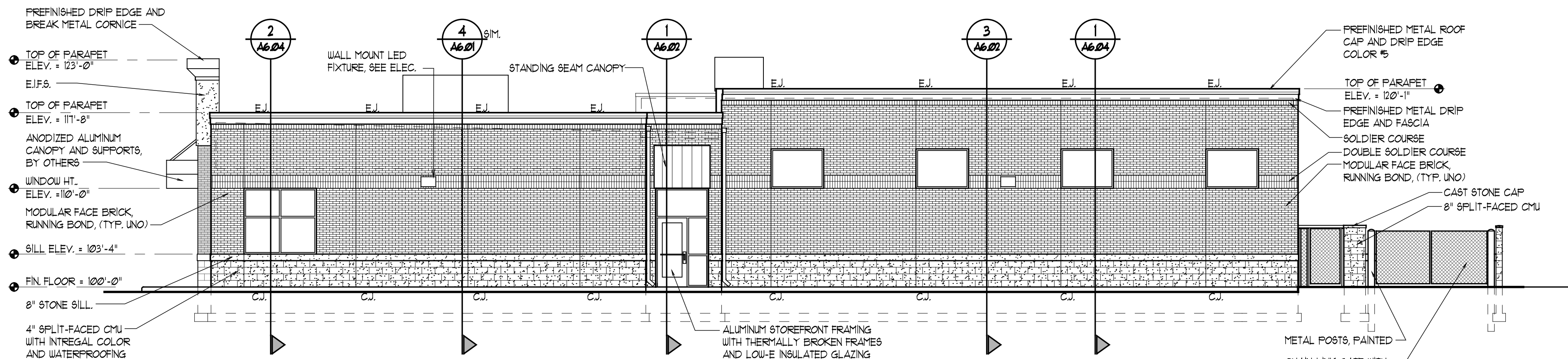
SHEET

A4.01

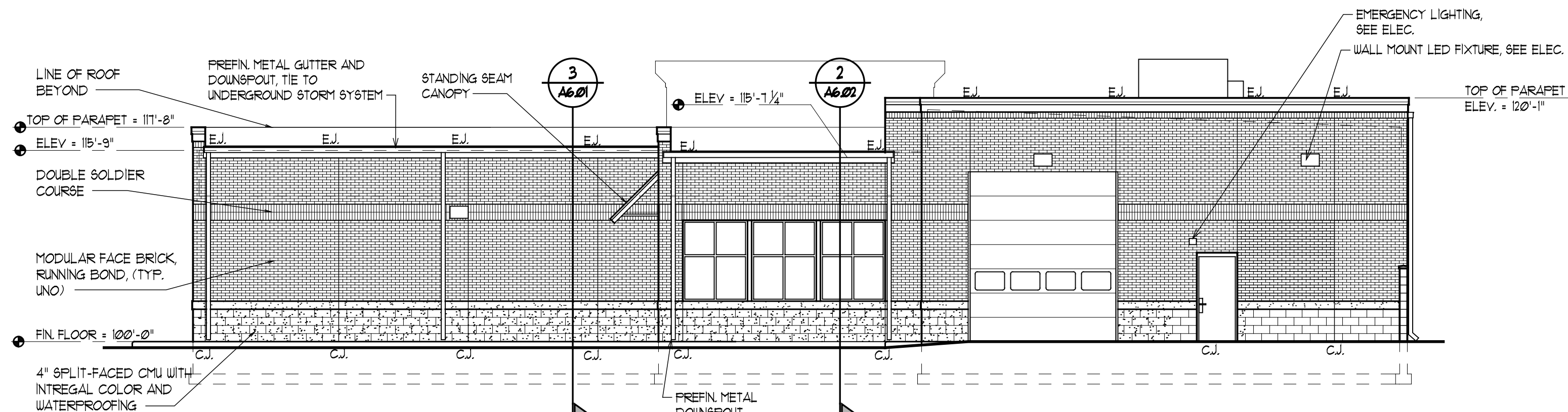
EXTERIOR ELEVATIONS



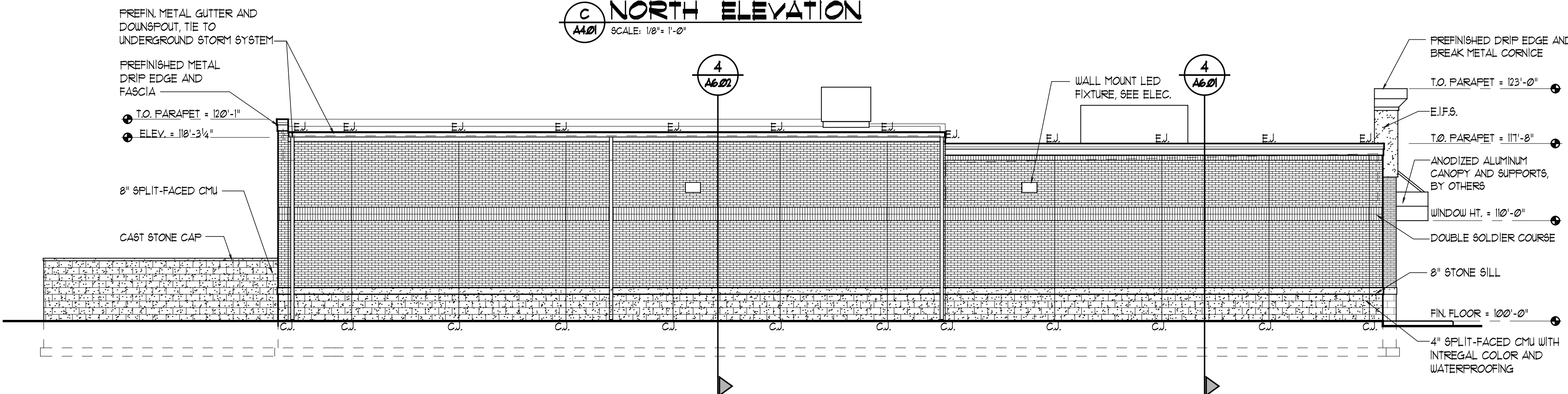
A SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



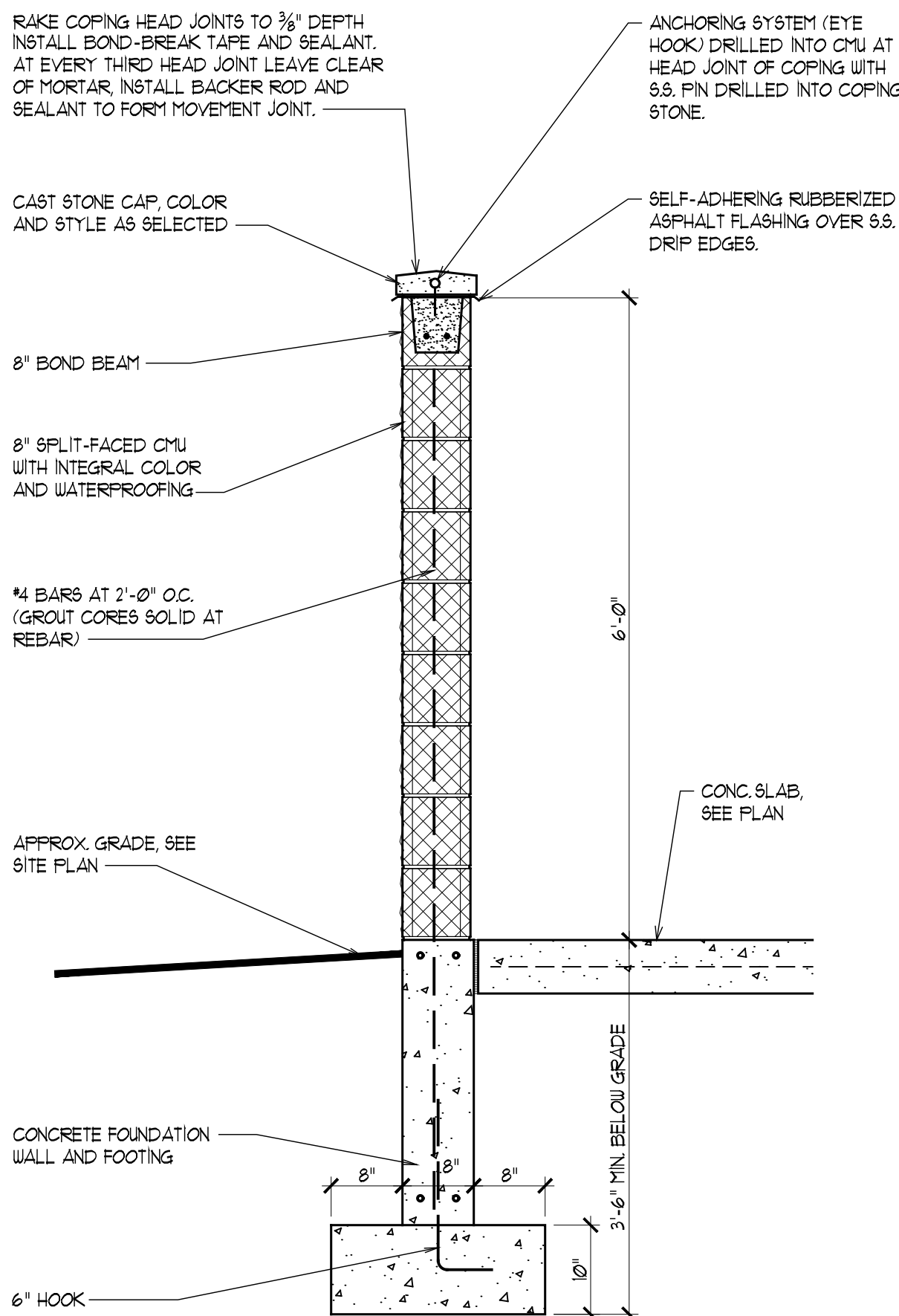
B EAST ELEVATION
SCALE: 1/8" = 1'-0"



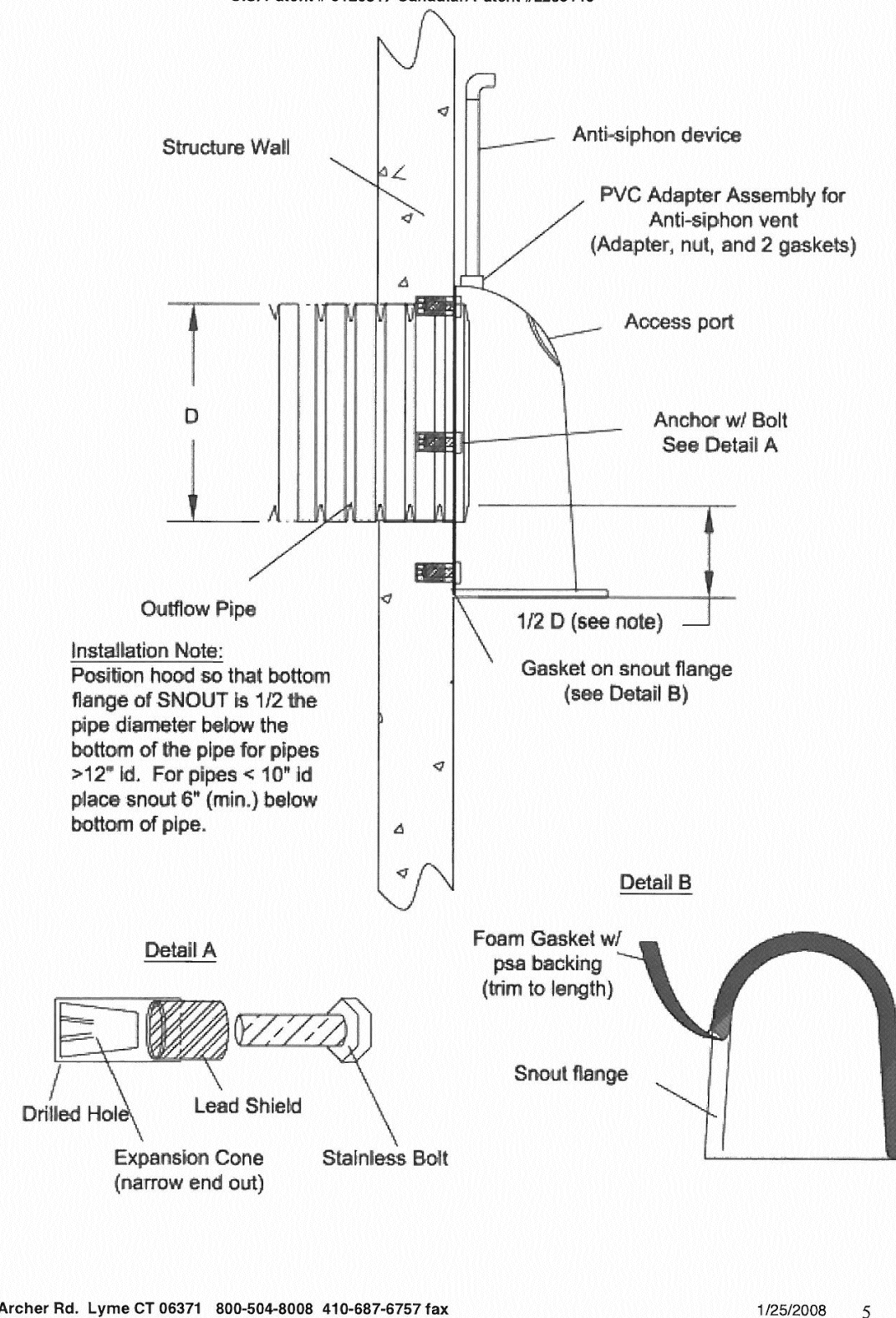
C NORTH ELEVATION
SCALE: 1/8" = 1'-0"



D WEST ELEVATION
SCALE: 1/8" = 1'-0"



E DUMPSTER ENCLOSURE SECTION
SCALE: 3/4" = 1'-0"



1	CATCH BASIN RIM	730.50
	INV (12° NW)	725.66
	INV (12° S)	725.66
	INV (12° E)	725.66
2	CATCH BASIN RIM	730.20
	INV (12° N)	725.94
	INV (12° W)	725.94
3	CATCH BASIN RIM	730.00
	INV (12° E)	726.36
	INV (12° W)	726.36
4	CATCH BASIN RIM	730.20
	INV (12° E)	726.70
5	CATCH BASIN RIM	731.20
	INV (12° SE)	727.10
	INV (12° NW)	727.10
6	CATCH BASIN RIM	731.00
	INV (12° SE)	727.39
	INV (12° NW)	727.39
7	CATCH BASIN RIM	732.40
	INV (12° SE)	728.77

1. SITE IS LOCATED IN FLOOD ZONE AE PER FEMA FIRM MAP WITH A 100 YEAR FLOOD ELEVATION OF 731.9.
2. ALL SIDEWALKS SHALL BE ADA COMPLIANT.
3. GAS PUMPS SHALL BE PLACED ON 6" CONCRETE ISLANDS.

ELEVATION 732.54
FLANGE BOLT ON HYDRANT @ NW CORNER OF
THE INTERSECTION OF GOULD AND EXCHANGE

- 1 GRADING LIMITS
- 2 SILT FENCE
- 3 PLACE SILT SACKS IN CATCH BASIN (6 PROP)
- 4 CONSTRUCTION ENTRANCE AND EXIT FOR SITE
- 5 CONSTRUCTION STAGING AREA

1. ALL SOIL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY OTHER CONSTRUCTION AND MAINTAINED, AS NECESSARY, UNTIL THE SITE HAS BEEN PERMANENTLY STABILIZED.
2. RE-SPREAD 4" OF TOPSOIL OVER ALL GRADED AREAS. SEED AND FERTILIZE USING MDOT ROADSIDE MIX.
3. SILT FENCE SHALL BE TOED IN 6" AND STAKED EVERY 6' O/C.
4. PROTECT NEW & EXISTING STORM INLETS BY EXCAVATING A SUMP AROUND THEM & PLACING A SILT SACK INSIDE THE CATCH BASIN.
5. INSPECT AND MAINTAIN ALL TEMPORARY SOIL EROSION CONTROLS AFTER EACH SIGNIFICANT RAINFALL.

Street sweeping shall be performed each day (or more often as needed) by mechanical means on paved streets in and around the perimeter of the project. This includes sweeping paved surfaces outside the limits of the project, as affected by any trucking operations.

Dust control shall be provided by means of water distribution on a regular basis over areas that could potentially produce dust conditions.

It shall be the responsibility of the property owner and all other persons participating in, causing or being factually or legally responsible for any earth change to provide soil erosion and sedimentation control to adequately prevent soil from being eroded and discharged onto adjacent properties, or into a City Stormwater Drainage System, a public street or right-of-way, wetland, creek, stream, water body, or floodplain. Non-compliance with this will result in violation notices with re-inspection fees.

[illegible]

SDR 35 GASKETED BELL GRAVITY APPLICATIONS

A. EQUIVALENT O BELL END ACCEPTS PIPE WITH SDR 35.
 ASTM D3034 OR EQUIVALENT O.D. SPECIFICATION IN
 8", 10", 12", 15", 16", 21", 24", 27", AND 30" SIZES.
 (FOR 4" AND 6" SIZES REFER TO FATBOY
 SPECIFICATIONS).

B. CURVATURE VARIES WITH MAINLINE DIAMETERS.

C. SPIGOT END PVC SDR 35, ASTM D3034
 DIAMETERS: 8", 10", 12", 15", 16", 21", 24", 27" AND 30"

PART	PART NAME
1	HUB ADAPTOR
2	RUBBER GASKET
3	SECURING CLAMP*
4	RUBBER SLEEVE* (AVAILABLE IN NITILE AND EPDM BY SPECIAL ORDER)
4A	UPPER SEGMENT**
4B	LOWER SEGMENT***

MATERIALS

PVC SDR 35 ASTM D3034
ASTM F477
BAND SS #301
SCREWS SS #305
HOUSING SS #301
ASTM F477

* OPTIONAL: #316 STAINLESS STEEL BAND, SCREW AND HOUSING
 ** DISTANCE BETWEEN 4A AND 4B WILL VARY BY PRODUCT TYPE
 *** WILL NOT APPEAR ON RUBBER SLEEVES FOR CONCRETE OR CAST PIPE

INSERTA TEE SIZE

8"	(200 mm)
10"	(250 mm)
12"	(300 mm)
15"	(375 mm)
16"	(450 mm)
21"	(525 mm)
24"	(600 mm)
27"	(675 mm)
30"	(750 mm)

HOLE DIAMETER

8 3/4"	(222mm)
10 1/4"	(278mm)
12 1/4"	(327mm)
15 1/4"	(402mm)
19 3/4"	(503mm)
22 3/4"	(579mm)
26 1/4"	(643mm)
28 1/2"	(724mm)
32 1/2"	(826mm)

NOTE: RECOMMENDED METHOD OF CUTTING HOLE IS WITH HOLE SAW FOR PVC AND OTHER PLASTICS, AND DIAMOND BIT FOR CONCRETES, CLAY, FRP AND D.I. (SEE INSTALLATION INSTRUCTIONS FOR HOLE SAWS ARE AVAILABLE FOR PURCHASE OR RENT.)

INSERTA TEE | P O BOX 714
 CORNELIUS, OR 97118
 PH: (503) 337-2515 FAX (503) 339-5417
 SALES@INSERTATEE.COM

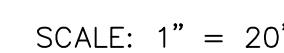
SDR 35 GASKETED BELL GRAVITY APPLICATION SPECIFICATIONS

SCALE: NTS

DATE: 9/12/2013

DESIGNED BY: NTS

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T	—	TOWN		SECTION CORNER
R	—	RANGE		SET CAPPED IRON
N	—	NORTH		FOUND IRON OR NAIL
S	—	SOUTH		STORM SEWER MANHOLE
E	—	EAST		SANITARY SEWER MANHOLE
W	—	WEST		CATCHBASIN
SEC.	—	SECTION		HYDRANT
P.O.B.	—	POINT OF BEGINNING		VALVE
		PROPOSED BLACKTOP		UTILITY POLE
		PROPOSED CONCRETE		GUY WIRE
		EXISTING BLACKTOP		LIGHT POLE
		EXISTING CONCRETE		WALL MOUNTED LIGHT
		BUILDING		PEDESTAL
				TRANSFORMER
				SIGN

1/14/19	INITIAL SUBMITTAL
2/20/19	PLAN REVIEW
3/15/19	PLAN REVIEW
4/09/19	PLAN REVIEW
4/17/19	PLAN REVIEW

FOR: OMEGA ARCHITECTS
3483 PRAIRIE ST SW
GRANDVILLE, MI 49418

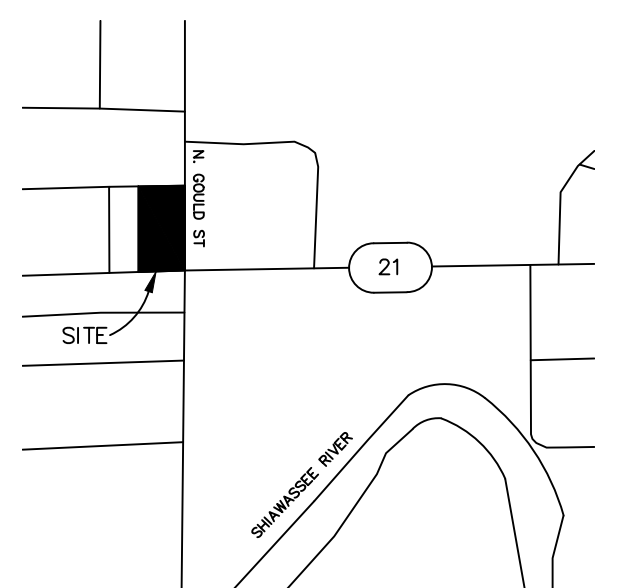
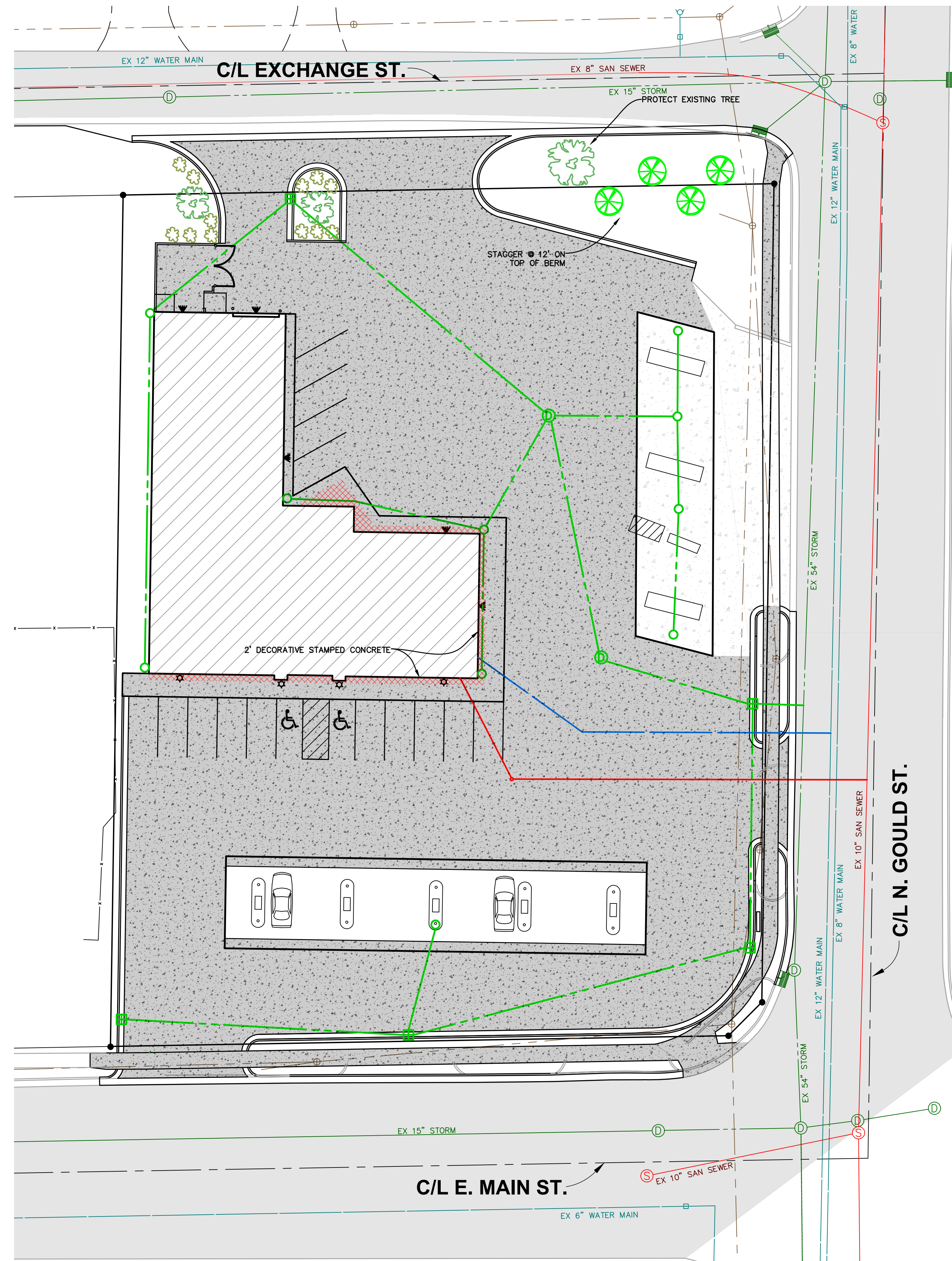
PART OF THE SOUTH 1/4, SECTION 18, T7N, R3E
CITY OF OWOSSO, SHIAWASSEE COUNTY, MICHIGAN



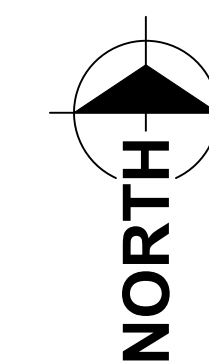
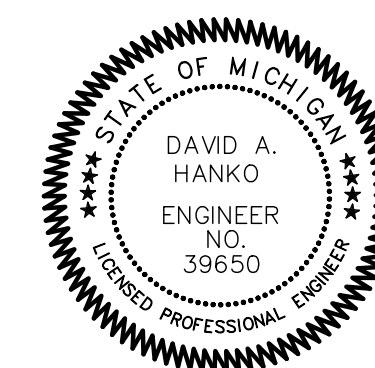
C4

ELEVATION 732.54
FLANGE BOLT ON HYDRANT @ NW CORNER OF THE INTERSECTION OF GOULD AND EXCHANGE

2	Japanese Tree Lilac (syringa reticulata)	
4	Golden Star Chinese Juniper (juniperus chinensis 'Gold Star')	
12	Shore Juniper (juniperus conferta 'Blue Pacific')	



LOCATION MAP
NOT TO SCALE



SCALE: 1" = 20'

T	-	TOWN		SECTION CORNER
R	-	RANGE		SET CAPPED IRON
N	-	NORTH		FOUND IRON OR NAIL
S	-	SOUTH		STORM SEWER MANHOLE
E	-	EAST		SANITARY SEWER MANHOLE
W	-	WEST		CATCHBASIN
SEC.	-	SECTION		HYDRANT
P.O.B.	-	POINT OF BEGINNING		VALVE
		PROPOSED BLACKTOP		UTILITY POLE
		PROPOSED CONCRETE		GUY WIRE
		EXISTING BLACKTOP		LIGHT POLE
		EXISTING CONCRETE		WALL MOUNTED LIGHT
		BUILDING		PEDESTAL
				TRANSFORMER
				SIGN

[illegible]

FOR: OMEGA ARCHITECTS
3483 PRAIRIE ST SW
GRANDVILLE, MI 49418

PART OF THE SOUTH 1/4, SECTION 18, T7N, R3E,
CITY OF OWOSSO, SHIAWASSEE COUNTY, MICHIGAN



C5



D-Series Size 0 LED Area Luminaire



Catalog Number
Notes
Type

Hit the Tab key or mouse over the page to see all interactive elements.

A+ Capable Luminaire

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency
- This luminaire is A+ Certified when ordered with DTL® controls marked by a **shaded background**. DTL DLL equipped luminaires meet the A+ specification for luminaire to photocontrol interoperability¹
- This luminaire is part of an A+ Certified solution for ROAM® or XPoint™ Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a **shaded background**¹

To learn more about A+, visit www.acuitybrands.com/aplus.

1. See ordering tree for details.
2. A+ Certified Solutions for ROAM require the order of one ROAM node per luminaire. Sold Separately: [Link to Roam](#); [Link to DTL DLL](#)

Specifications

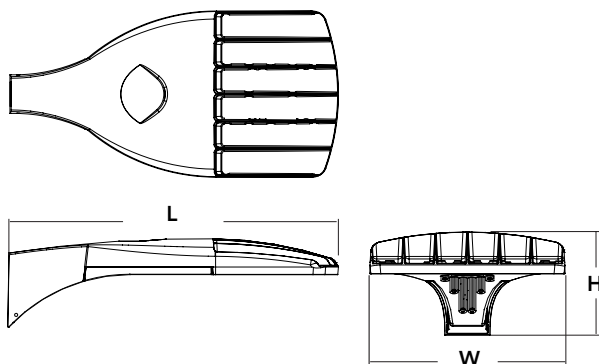
EPA: 0.95 ft²
(.09 m²)

Length: 26"
(66.0 cm)

Width: 13"
(33.0 cm)

Height: 7"
(17.8 cm)

Weight (max): 16 lbs
(7.25 kg)



A+ Capable options indicated by this color background.

Ordering Information

EXAMPLE: DSX0 LED P6 40K T3M MVOLT SPA DDBXD

DSX0 LED					
Series	LEDs	Color temperature	Distribution	Voltage	Mounting
DSX0 LED	Forward optics P1 P4 P7 P2 P5 P3 P6 Rotated optics P10 ¹ P12 ¹ P11 ¹ P13 ¹	30K 3000 K 40K 4000 K 50K 5000 K AMBPC Amber phosphor converted ²	T1S Type I short T2S Type II short T2M Type II medium T3S Type III short T3M Type III medium T4M Type IV medium TFTM Forward throw medium TSVS Type V very short T5S Type V short T5M Type V medium T5W Type V wide BLC Backlight control ^{2,3} LCCO Left corner cutoff ^{2,3} RCCO Right corner cutoff ^{2,3}	MVOLT ^{4,5} 120 ⁶ 208 ^{5,6} 240 ^{5,6} 277 ⁶ 347 ^{5,6,7} 480 ^{5,6,7}	Shipped included SPA Square pole mounting RPA Round pole mounting WBA Wall bracket SPUMBA Square pole universal mounting adaptor ⁸ RPUMBA Round pole universal mounting adaptor ⁸ Shipped separately KMA8 DDBXD U Mast arm mounting bracket adaptor (specify finish) ⁹

Control options	Other options	Finish (required)
Shipped installed NLTAIR2 nLight AIR generation 2 enabled ¹⁰ PER NEMA twist-lock receptacle only (control ordered separate) ¹¹ PER5 Five-wire receptacle only (control ordered separate) ^{11,12} PER7 Seven-wire receptacle only (control ordered separate) ^{11,12} DMG 0-10V dimming extend out back of housing for external control (control ordered separate) PIR Bi-level, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 5fc ^{5,13,14} PIRH Bi-level, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 5fc ^{5,13,14} PIRHN Network, Bi-Level motion/ambient sensor ¹⁵ PIR1FC3V Bi-level, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc ^{5,13,14}	PIRH1FC3V Bi-level, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc ^{5,13,14} BL30 Bi-level switched dimming, 30% ^{5,16,17} BL50 Bi-level switched dimming, 50% ^{5,16,17} PNMTDD3 Part night, dim till dawn ^{5,18} PNMT5D3 Part night, dim 5 hrs ^{5,18} PNMT6D3 Part night, dim 6 hrs ^{5,18} PNMT7D3 Part night, dim 7 hrs ^{5,18} FAO Field adjustable output ¹⁹	Shipped installed HS House-side shield ²⁰ SF Single fuse (120, 277, 347V) ⁶ DF Double fuse (208, 240, 480V) ⁶ L90 Left rotated optics ¹ R90 Right rotated optics ¹ DDL Diffused drop lens ²⁰ Shipped separately BS Bird spikes ²¹ EGS External glare shield ²¹
		DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DDBTXD Textured dark bronze DBLBXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white



Ordering Information

Accessories

Ordered and shipped separately.

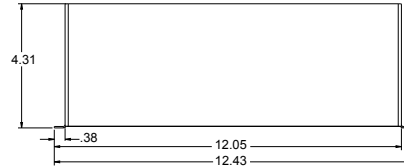
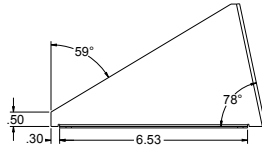
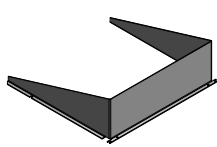
DLL127F 1.5 JU	Photocell - SSL twist-lock (120-277V) ²²
DLL347F 1.5 CUL JU	Photocell - SSL twist-lock (347V) ²²
DLL480F 1.5 CUL JU	Photocell - SSL twist-lock (480V) ²²
DSHORT SBK U	Shorting cap ²²
DSX0HS 20C U	House-side shield for 20 LED unit ²⁰
DSX0HS 30C U	House-side shield for 30 LED unit ²⁰
DSX0HS 40C U	House-side shield for 40 LED unit ²⁰
DSX0DDL U	Diffused drop lens (polycarbonate) ²⁰
PUMBA DDBXD U*	Square and round pole universal mounting bracket adaptor (specify finish) ²³
KMA8 DDBXD U	Mast arm mounting bracket adaptor (specify finish) ¹

For more control options, visit [DTL](#) and [ROAM](#) online.

NOTES

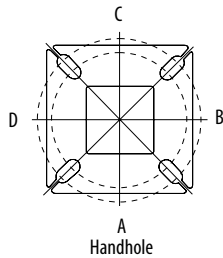
- P10, P11, P12 and P13 and rotated options (L90 or R90) only available together.
- AMBPC is not available with BLC, LCCO, RCCO, P4, P7 or P13.
- Not available with HS or DDL.
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
- Any PIRx with BL30, BL50 or PNMT, is not available with 208V, 240V, 347V, 480V or MVOLT. It is only available in 120V or 277V specified.
- Single fuse (SF) requires 120V, 277V or 347V. Double fuse (DF) requires 208V, 240V or 480V.
- Not available in P4, P7 or P13. Not available with BL30, BL50 or PNMT options.
- Existing drilled pole only. Available as a separate combination accessory; for retrofit use only: PUMBA (finish) U; 1.5 G vibration load rating per ANCI C136.31.
- Must order fixture with SPA mounting. Must be ordered as a separate accessory; see Accessories information. For use with 2-3/8" mast arm (not included).
- Must be ordered with PIRHN.
- Photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories. Shorting Cap included.
- If ROAM* node required, it must be ordered and shipped as a separate line item from Acuity Brands Controls. Shorting Cap included.
- Reference Motion Sensor table on page 3.
- Reference PER Table on page 3 to see functionality.
- Must be ordered with NLTAIR2. For more information on nLight Air 2 visit [this link](#).
- Requires (2) separately switched circuits.
- Not available with 347V, 480V or PNMT. For PER5 or PER7 see PER Table on page 3. Requires isolated neutral.
- Not available with 347V, 480V, BL30 and BL50. For PER5 or PER7 see PER Table on page 3. Separate Dusk to Dawn required.
- Not available with other dimming controls options.
- Not available with BLC, LCCO and RCCO pre-drilling. Also available as a separate accessory; see Accessories information.
- Must be ordered with fixture for factory pre-drilling.
- Requires luminaire to be specified with PER, PER5 or PER7 option. See PER Table on page 3.
- For retrofit use only.

External Glare Shield



Drilling

HANDHOLE ORIENTATION



Tenon Mounting Slipfitter**

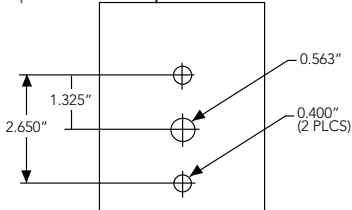
Tenon O.D.	Single Unit	2 at 180°	2 at 90°	3 at 120°	3 at 90°	4 at 90°
2-3/8"	AST20-190	AST20-280	AST20-290	AST20-320	AST20-390	AST20-490
2-7/8"	AST25-190	AST25-280	AST25-290	AST25-320	AST25-390	AST25-490
4"	AST35-190	AST35-280	AST35-290	AST35-320	AST35-390	AST35-490

Pole drilling nomenclature: # of heads at degree from handhole (default side A)					
DM19AS	DM28AS	DM29AS	DM32AS	DM39AS	DM49AS
1 @ 90°	2 @ 280°	2 @ 90°	3 @ 120°	3 @ 90°	4 @ 90°
Side B	Side B & D	Side B & C	Round pole only	Side B, C, & D	Sides A, B, C, D

Note: Review luminaire spec sheet for specific nomenclature

Template #8

Top of Pole



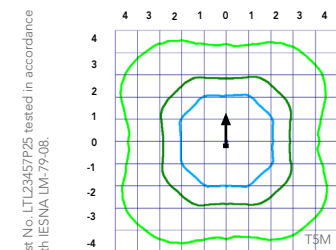
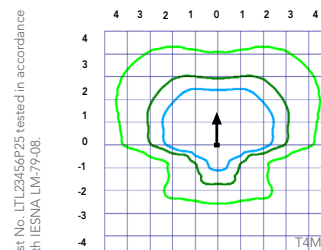
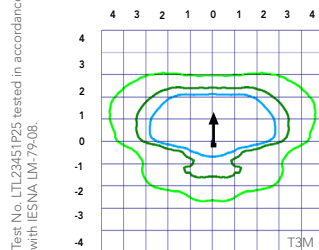
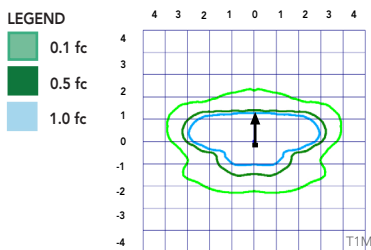
Pole top or tenon O.D.	4.5" @ 90°	4" @ 90°	3.5" @ 90°	3" @ 90°	4.5" @ 120°	4" @ 120°	3.5" @ 120°	3" @ 120°
DSX SPA	Y	Y	Y	N	-	-	-	-
DSX RPA	Y	Y	N	N	Y	Y	Y	Y
DSX SPUMBA	Y	N	N	N	-	-	-	-
DSX RPUMBA	N	N	N	N	Y	Y	Y	N

*3 fixtures @ 120 require round pole top/tenon.

Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's [D-Series Area Size 0 homepage](#).

Isofootcandle plots for the DSX0 LED 40C 1000 40K. Distances are in units of mounting height (20').



Performance Data

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.04
5°C	41°F	1.04
10°C	50°F	1.03
15°C	59°F	1.02
20°C	68°F	1.01
25°C	77°F	1.00
30°C	86°F	0.99
35°C	95°F	0.98
40°C	104°F	0.97

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a **25°C ambient**, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	25000	50000	100000
Lumen Maintenance Factor	0.96	0.92	0.85

Electrical Load

	Performance Package	LED Count	Drive Current	Wattage	Current (A)					
					120	208	240	277	347	480
Forward Optics (Non-Rotated)	P1	20	530	38	0.32	0.18	0.15	0.15	0.10	0.08
	P2	20	700	49	0.41	0.23	0.20	0.19	0.14	0.11
	P3	20	1050	71	0.60	0.37	0.32	0.27	0.21	0.15
	P4	20	1400	92	0.77	0.45	0.39	0.35	0.28	0.20
	P5	40	700	89	0.74	0.43	0.38	0.34	0.26	0.20
	P6	40	1050	134	1.13	0.65	0.55	0.48	0.39	0.29
	P7	40	1300	166	1.38	0.80	0.69	0.60	0.50	0.37
Rotated Optics (Requires L90 or R90)	P10	30	530	53	0.45	0.26	0.23	0.21	0.16	0.12
	P11	30	700	72	0.60	0.35	0.30	0.27	0.20	0.16
	P12	30	1050	104	0.88	0.50	0.44	0.39	0.31	0.23
	P13	30	1300	128	1.08	0.62	0.54	0.48	0.37	0.27

Motion Sensor Default Settings

Option	Dimmed State	High Level (when triggered)	Photocell Operation	Dwell Time	Ramp-up Time	Ramp-down Time
PIR or PIRH	3V (37%) Output	10V (100%) Output	Enabled @ 5FC	5 min	3 sec	5 min
*PIR1FC3V or PIRH1FC3V	3V (37%) Output	10V (100%) Output	Enabled @ 1FC	5 min	3 sec	5 min

*for use with Inline Dusk to Dawn or timer.

PER Table

Control	PER (3 wire)	PER5 (5 wire)		PER7 (7 wire)	
		Wire 4/Wire5	Wire 4/Wire5	Wire 4/Wire5	Wire 6/Wire7
Photocontrol Only (On/Off)	✓	Wired to dimming leads on driver	Wired to dimming leads on driver	Wired to dimming leads on driver	Wires Capped inside fixture
ROAM	✗	Wired to dimming leads on driver	Wired to dimming leads on driver	Wired to dimming leads on driver	Wires Capped inside fixture
ROAM with Motion (ROAM on/off only)	✗	Wires Capped inside fixture	Wires Capped inside fixture	Wires Capped inside fixture	Wires Capped inside fixture
Future-proof*	✗	Wired to dimming leads on driver	Wired to dimming leads on driver	Wired to dimming leads on driver	Wires Capped inside fixture
Future-proof* with Motion	✗	Wires Capped inside fixture	Wires Capped inside fixture	Wires Capped inside fixture	Wires Capped inside fixture

✓ Recommended
✗ Will not work
⚠ Alternate

*Future-proof means: Ability to change controls in the future.



Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Forward Optics

LED Count	Drive Current	Power Package	System Watts	Dist. Type	30K (3000 K, 70 CRI)					40K (4000 K, 70 CRI)					50K (5000 K, 70 CRI)					AMBPC (Amber Phosphor Converted)				
					Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
20	530	P1	38W	T1S	4,369	1	0	1	115	4,706	1	0	1	124	4,766	1	0	1	125	2,541	1	0	1	73
				T2S	4,364	1	0	1	115	4,701	1	0	1	124	4,761	1	0	1	125	2,589	1	0	1	74
				T2M	4,387	1	0	1	115	4,726	1	0	1	124	4,785	1	0	1	126	2,539	1	0	1	73
				T3S	4,248	1	0	1	112	4,577	1	0	1	120	4,634	1	0	1	122	2,558	1	0	1	73
				T3M	4,376	1	0	1	115	4,714	1	0	1	124	4,774	1	0	1	126	2,583	1	0	1	74
				T4M	4,281	1	0	1	113	4,612	1	0	2	121	4,670	1	0	2	123	2,570	1	0	1	73
				TFTM	4,373	1	0	1	115	4,711	1	0	2	124	4,771	1	0	2	126	2,540	1	0	1	73
				TSVS	4,548	2	0	0	120	4,900	2	0	0	129	4,962	2	0	0	131	2,650	1	0	0	76
				TSS	4,552	2	0	0	120	4,904	2	0	0	129	4,966	2	0	0	131	2,690	1	0	0	77
				TSM	4,541	3	0	1	120	4,891	3	0	1	129	4,953	3	0	1	130	2,658	2	0	0	76
				TSW	4,576	3	0	2	120	4,929	3	0	2	130	4,992	3	0	2	131	2,663	2	0	1	73
				BLC	3,586	1	0	1	94	3,863	1	0	1	102	3,912	1	0	1	103					
				LCCO	2,668	1	0	1	70	2,874	1	0	2	76	2,911	1	0	2	77					
				RCCO	2,668	1	0	1	70	2,874	1	0	2	76	2,911	1	0	2	77					
20	700	P2	49W	T1S	5,570	1	0	1	114	6,001	1	0	1	122	6,077	2	0	2	124	3,144	1	0	1	70
				T2S	5,564	1	0	2	114	5,994	1	0	2	122	6,070	2	0	2	124	3,203	1	0	1	71
				T2M	5,593	1	0	1	114	6,025	1	0	1	123	6,102	1	0	1	125	3,141	1	0	1	70
				T3S	5,417	1	0	2	111	5,835	1	0	2	119	5,909	2	0	2	121	3,165	1	0	1	70
				T3M	5,580	1	0	2	114	6,011	1	0	2	123	6,087	1	0	2	124	3,196	1	0	1	71
				T4M	5,458	1	0	2	111	5,880	1	0	2	120	5,955	1	0	2	122	3,179	1	0	1	71
				TFTM	5,576	1	0	2	114	6,007	1	0	2	123	6,083	1	0	2	124	3,143	1	0	1	70
				TSVS	5,799	2	0	0	118	6,247	2	0	0	127	6,327	2	0	0	129	3,278	2	0	0	73
				TSS	5,804	2	0	0	118	6,252	2	0	0	128	6,332	2	0	1	129	3,328	2	0	0	74
				TSM	5,789	3	0	1	118	6,237	3	0	1	127	6,316	3	0	1	129	3,288	2	0	1	73
				TSW	5,834	3	0	2	119	6,283	3	0	2	128	6,364	3	0	2	130	3,295	2	0	1	73
				BLC	4,572	1	0	1	93	4,925	1	0	1	101	4,987	1	0	1	102					
				LCCO	3,402	1	0	2	69	3,665	1	0	2	75	3,711	1	0	2	76					
				RCCO	3,402	1	0	2	69	3,665	1	0	2	75	3,711	1	0	2	76					
20	1050	P3	71W	T1S	7,833	2	0	2	110	8,438	2	0	2	119	8,545	2	0	2	120					
				T2S	7,825	2	0	2	110	8,429	2	0	2	119	8,536	2	0	2	120					
				T2M	7,865	2	0	2	111	8,473	2	0	2	119	8,580	2	0	2	121					
				T3S	7,617	2	0	2	107	8,205	2	0	2	116	8,309	2	0	2	117					
				T3M	7,846	2	0	2	111	8,452	2	0	2	119	8,559	2	0	2	121					
				T4M	7,675	2	0	2	108	8,269	2	0	2	116	8,373	2	0	2	118					
				TFTM	7,841	2	0	2	110	8,447	2	0	2	119	8,554	2	0	2	120					
				TSVS	8,155	3	0	0	115	8,785	3	0	0	124	8,896	3	0	0	125					
				TSS	8,162	3	0	1	115	8,792	3	0	1	124	8,904	3	0	1	125					
				TSM	8,141	3	0	2	115	8,770	3	0	2	124	8,881	3	0	2	125					
				TSW	8,204	3	0	2	116	8,838	4	0	2	124	8,950	4	0	2	126					
				BLC	6,429	1	0	2	91	6,926	1	0	2	98	7,013	1	0	2	99					
				LCCO	4,784	1	0	2	67	5,153	1	0	2	73	5,218	1	0	2	73					
				RCCO	4,784	1	0	2	67	5,153	1	0	2	73	5,218	1	0	2	73					
20	1400	P4	92W	T1S	9,791	2	0	2	106	10,547	2	0	2	115	10,681	2	0	2	116					
				T2S	9,780	2	0	2	106	10,536	2	0	2	115	10,669	2	0	2	116					
				T2M	9,831	2	0	2	107	10,590	2	0	2	115	10,724	2	0	2	117					
				T3S	9,521	2	0	2	103	10,256	2	0	2	111	10,386	2	0	2	113					
				T3M	9,807	2	0	2	107	10,565	2	0	2	115	10,698	2	0	2	116					
				T4M	9,594	2	0	2	104	10,335	2	0	3	112	10,466	2	0	3	114					
				TFTM	9,801	2	0	2	107	10,558	2	0	2	115	10,692	2	0	2	116					
				TSVS	10,193	3	0	1	111	10,981	3	0	1	119	11,120	3	0	1	121					
				TSS	10,201	3	0	1	111	10,990	3	0	1	119	11,129	3	0	1	121					
				TSM	10,176	4	0	2	111	10,962	4	0	2	119	11,101	4	0	2	121					
				TSW	10,254	4	0	3	111	11,047	4	0	3	120	11,186	4	0	3	122					
				BLC	8,036	1	0	2	87	8,656	1	0	2	94	8,766	1	0	2	95					
				LCCO	5,979	1	0	2	65	6,441	1	0	2	70	6,523	1	0	3	71					
					5,979	1	0	2	65	6,441	1	0	2	70	6,523	1	0	3	71					

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Forward Optics																								
LED Count	Drive Current	Power Package	System Watts	Dist. Type	30K (3000 K, 70 CRI)					40K (4000 K, 70 CRI)					50K (5000 K, 70 CRI)					AMBPC (Amber Phosphor Converted)				
					Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
40	700	P5	89W	T1S	10,831	2	0	2	122	11,668	2	0	2	131	11,816	2	0	2	133					
				T2S	10,820	2	0	2	122	11,656	2	0	2	131	11,803	2	0	2	133					
				T2M	10,876	2	0	2	122	11,716	2	0	2	132	11,864	2	0	2	133					
				T3S	10,532	2	0	2	118	11,346	2	0	2	127	11,490	2	0	2	129					
				T3M	10,849	2	0	2	122	11,687	2	0	2	131	11,835	2	0	2	133					
				T4M	10,613	2	0	3	119	11,434	2	0	3	128	11,578	2	0	3	130					
				TFTM	10,842	2	0	2	122	11,680	2	0	2	131	11,828	2	0	2	133					
				TSVS	11,276	3	0	1	127	12,148	3	0	1	136	12,302	3	0	1	138					
				TSS	11,286	3	0	1	127	12,158	3	0	1	137	12,312	3	0	1	138					
				TSM	11,257	4	0	2	126	12,127	4	0	2	136	12,280	4	0	2	138					
				TSW	11,344	4	0	3	127	12,221	4	0	3	137	12,375	4	0	3	139					
				BLC	8,890	1	0	2	100	9,576	1	0	2	108	9,698	1	0	2	109					
				LCCO	6,615	1	0	3	74	7,126	1	0	3	80	7,216	1	0	3	81					
				RCCO	6,615	1	0	3	74	7,126	1	0	3	80	7,216	1	0	3	81					
40	1050	P6	134W	T1S	14,805	3	0	3	110	15,949	3	0	3	119	16,151	3	0	3	121	6,206	2	0	2	68
				T2S	14,789	3	0	3	110	15,932	3	0	3	119	16,134	3	0	3	120	6,322	2	0	2	69
				T2M	14,865	3	0	3	111	16,014	3	0	3	120	16,217	3	0	3	121	6,201	2	0	2	68
				T3S	14,396	3	0	3	107	15,509	3	0	3	116	15,705	3	0	3	117	6,247	1	0	2	69
				T3M	14,829	2	0	3	111	15,975	3	0	3	119	16,177	3	0	3	121	6,308	2	0	2	69
				T4M	14,507	2	0	3	108	15,628	3	0	3	117	15,826	3	0	3	118	6,275	1	0	2	69
				TFTM	14,820	2	0	3	111	15,965	3	0	3	119	16,167	3	0	3	121	6,203	1	0	2	68
				TSVS	15,413	4	0	1	115	16,604	4	0	1	124	16,815	4	0	1	125	6,671	2	0	0	73
				TSS	15,426	3	0	1	115	16,618	4	0	1	124	16,828	4	0	1	126	6,569	2	0	0	72
				TSM	15,387	4	0	2	115	16,576	4	0	2	124	16,786	4	0	2	125	6,491	3	0	1	71
				TSW	15,506	4	0	3	116	16,704	4	0	3	125	16,915	4	0	3	126	6,504	3	0	2	71
				BLC	12,151	1	0	2	91	13,090	1	0	2	98	13,255	1	0	2	99					
				LCCO	9,041	1	0	3	67	9,740	1	0	3	73	9,863	1	0	3	74					
				RCCO	9,041	1	0	3	67	9,740	1	0	3	73	9,863	1	0	3	74					
40	1300	P7	166W	T1S	17,023	3	0	3	103	18,338	3	0	3	110	18,570	3	0	3	112					
				T2S	17,005	3	0	3	102	18,319	3	0	3	110	18,551	3	0	3	112					
				T2M	17,092	3	0	3	103	18,413	3	0	3	111	18,646	3	0	3	112					
				T3S	16,553	3	0	3	100	17,832	3	0	3	107	18,058	3	0	3	109					
				T3M	17,051	3	0	3	103	18,369	3	0	3	111	18,601	3	0	3	112					
				T4M	16,681	3	0	3	100	17,969	3	0	3	108	18,197	3	0	3	110					
				TFTM	17,040	3	0	3	103	18,357	3	0	4	111	18,590	3	0	4	112					
				TSVS	17,723	4	0	1	107	19,092	4	0	1	115	19,334	4	0	1	116					
				TSS	17,737	4	0	2	107	19,108	4	0	2	115	19,349	4	0	2	117					
				TSM	17,692	4	0	2	107	19,059	4	0	2	115	19,301	4	0	2	116					
				TSW	17,829	5	0	3	107	19,207	5	0	3	116	19,450	5	0	3	117					
				BLC	13,971	2	0	2	84	15,051	2	0	2	91	15,241	2	0	2	92					
				LCCO	10,396	1	0	3	63	11,199	1	0	3	67	11,341	1	0	3	68					
					10,396	1	0	3	63	11,199	1	0	3	67	11,341	1	0	3	68					

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Rotated Optics																								
LED Count	Drive Current	Power Package	System Watts	Dist. Type	30K (3000 K, 70 CRI)					40K (4000 K, 70 CRI)					50K (5000 K, 70 CRI)					AMBPC (Amber Phosphor Converted)				
					Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
30	530	P10	53W	T1S	6,727	2	0	2	127	7,247	3	0	3	137	7,339	3	0	3	138					
				T2S	6,689	3	0	3	126	7,205	3	0	3	136	7,297	3	0	3	138					
				T2M	6,809	3	0	3	128	7,336	3	0	3	138	7,428	3	0	3	140					
				T3S	6,585	3	0	3	124	7,094	3	0	3	134	7,183	3	0	3	136					
				T3M	6,805	3	0	3	128	7,331	3	0	3	138	7,424	3	0	3	140					
				T4M	6,677	3	0	3	126	7,193	3	0	3	136	7,284	3	0	3	137					
				TFTM	6,850	3	0	3	129	7,379	3	0	3	139	7,472	3	0	3	141					
				TSVS	6,898	3	0	0	130	7,431	3	0	0	140	7,525	3	0	0	142					
				T5S	6,840	2	0	1	129	7,368	2	0	1	139	7,461	2	0	1	141					
				T5M	6,838	3	0	1	129	7,366	3	0	2	139	7,460	3	0	2	141					
				TSW	6,777	3	0	2	128	7,300	3	0	2	138	7,393	3	0	2	139					
				BLC	5,626	2	0	2	106	6,060	2	0	2	114	6,137	2	0	2	116					
				LCCO	4,018	1	0	2	76	4,328	1	0	2	82	4,383	1	0	2	83					
				RCCO	4,013	3	0	3	76	4,323	3	0	3	82	4,377	3	0	3	83					
30	700	P11	72W	T1S	8,594	3	0	3	119	9,258	3	0	3	129	9,376	3	0	3	130					
				T2S	8,545	3	0	3	119	9,205	3	0	3	128	9,322	3	0	3	129					
				T2M	8,699	3	0	3	121	9,371	3	0	3	130	9,490	3	0	3	132					
				T3S	8,412	3	0	3	117	9,062	3	0	3	126	9,177	3	0	3	127					
				T3M	8,694	3	0	3	121	9,366	3	0	3	130	9,484	3	0	3	132					
				T4M	8,530	3	0	3	118	9,189	3	0	3	128	9,305	3	0	3	129					
				TFTM	8,750	3	0	3	122	9,427	3	0	3	131	9,546	3	0	3	133					
				TSVS	8,812	3	0	0	122	9,493	3	0	0	132	9,613	3	0	0	134					
				T5S	8,738	3	0	1	121	9,413	3	0	1	131	9,532	3	0	1	132					
				T5M	8,736	3	0	2	121	9,411	3	0	2	131	9,530	3	0	2	132					
				TSW	8,657	4	0	2	120	9,326	4	0	2	130	9,444	4	0	2	131					
				BLC	7,187	3	0	3	100	7,742	3	0	3	108	7,840	3	0	3	109					
				LCCO	5,133	1	0	2	71	5,529	1	0	2	77	5,599	1	0	2	78					
				RCCO	5,126	3	0	3	71	5,522	3	0	3	77	5,592	3	0	3	78					
30	1050	P12	104W	T1S	12,149	3	0	3	117	13,088	3	0	3	126	13,253	3	0	3	127					
				T2S	12,079	4	0	4	116	13,012	4	0	4	125	13,177	4	0	4	127					
				T2M	12,297	3	0	3	118	13,247	3	0	3	127	13,415	3	0	3	129					
				T3S	11,891	4	0	4	114	12,810	4	0	4	123	12,972	4	0	4	125					
				T3M	12,290	3	0	3	118	13,239	4	0	4	127	13,407	4	0	4	129					
				T4M	12,058	4	0	4	116	12,990	4	0	4	125	13,154	4	0	4	126					
				TFTM	12,369	4	0	4	119	13,325	4	0	4	128	13,494	4	0	4	130					
				TSVS	12,456	3	0	1	120	13,419	3	0	1	129	13,589	4	0	1	131					
				T5S	12,351	3	0	1	119	13,306	3	0	1	128	13,474	3	0	1	130					
				T5M	12,349	4	0	2	119	13,303	4	0	2	128	13,471	4	0	2	130					
				TSW	12,238	4	0	3	118	13,183	4	0	3	127	13,350	4	0	3	128					
				BLC	10,159	3	0	3	98	10,944	3	0	3	105	11,083	3	0	3	107					
				LCCO	7,256	1	0	3	70	7,816	1	0	3	75	7,915	1	0	3	76					
				RCCO	7,246	3	0	3	70	7,806	4	0	4	75	7,905	4	0	4	76					
30	1300	P13	128W	T1S	14,438	3	0	3	113	15,554	3	0	3	122	15,751	3	0	3	123					
				T2S	14,355	4	0	4	112	15,465	4	0	4	121	15,660	4	0	4	122					
				T2M	14,614	3	0	3	114	15,744	4	0	4	123	15,943	4	0	4	125					
				T3S	14,132	4	0	4	110	15,224	4	0	4	119	15,417	4	0	4	120					
				T3M	14,606	4	0	4	114	15,735	4	0	4	123	15,934	4	0	4	124					
				T4M	14,330	4	0	4	112	15,438	4	0	4	121	15,633	4	0	4	122					
				TFTM	14,701	4	0	4	115	15,836	4	0	4	124	16,037	4	0	4	125					
				TSVS	14,804	4	0	1	116	15,948	4	0	1	125	16,150	4	0	1	126					
				T5S	14,679	3	0	1	115	15,814	3	0	1	124	16,014	3	0	1	125					
				T5M	14,676	4	0	2	115	15,810	4	0	2	124	16,010	4	0	2	125					
				TSW	14,544	4	0	3	114	15,668	4	0	3	122	15,866	4	0	3	124					
				BLC	7919	3	0	3	62	8531	3	0	3	67	8639	3	0	3	67					
				LCCO	5145	1	0	2	40	5543	1	0	2	43	5613	1	0	2	44					
					5139	3	0	3	40	5536	3	0	3	43	5606	3	0	3	44					

FEATURES & SPECIFICATIONS

INTENDED USE

The sleek design of the D-Series Size 0 reflects the embedded high performance LED technology. It is ideal for many commercial and municipal applications, such as parking lots, plazas, campuses, and pedestrian areas.

CONSTRUCTION

Single-piece die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. Modular design allows for ease of maintenance and future light engine upgrades. The LED driver is mounted in direct contact with the casting to promote low operating temperature and long life. Housing is completely sealed against moisture and environmental contaminants (IP65). Low EPA (0.95 ft²) for optimized pole wind loading.

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in both textured and non-textured finishes.

OPTICS

Precision-molded proprietary acrylic lenses are engineered for superior area lighting distribution, uniformity, and pole spacing. Light engines are available in 3000 K, 4000 K or 5000 K (70 CRI) configurations. The D-Series Size 0 has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engine(s) configurations consist of high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L85/100,000 hours at 25°C). Class 1 electronic drivers are designed to have a power factor >90%, THD <20%, and an expected life of

100,000 hours with <1% failure rate. Easily serviceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).

INSTALLATION

Included mounting block and integral arm facilitate quick and easy installation. Stainless steel bolts fasten the mounting block securely to poles and walls, enabling the D-Series Size 0 to withstand up to a 3.0 G vibration load rating per ANSI C136.31. The D-Series Size 0 utilizes the AERIS™ series pole drilling pattern (template #8). Optional terminal block and NEMA photocontrol receptacle are also available.

LISTINGS

UL Listed for wet locations. Light engines are IP66 rated; luminaire is IP65 rated. Rated for -40°C minimum ambient. U.S. Patent No. D672,492 S. International patent pending.

DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified.

International Dark-Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 3000K color temperature only.

WARRANTY

5-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



FEATURES & SPECIFICATIONS

INTENDED USE

Provides maintenance-free general illumination for outdoor use in residential and commercial applications such as retail, education, multi-unit housing and storage. Ideal for lighting building facades, parking areas, walkways, garages, loading areas and any other outdoor space requiring reliable safety and security.

CONSTRUCTION

Sturdy weather-resistant aluminum housing with a bronze finish. A clear polycarbonate lens protects the optics from moisture, dirt and other contaminants.

10 high performance 5000K LEDs are powered by a 120-volt driver that uses 35 input watts and provides 2,300 delivered lumens. 50,000 hour average LED life means no lamp replacement. Fixture is maintenance-free.

Operating temperature -40°C to 40°C.

Adjustable Dusk-to-dawn, photocell standard automatically turns light on at dusk and off at dawn for convenience and energy savings.

Photocell can be disabled by rotating the photocell cover.

INSTALLATION

Wall or arm mount (mounting arm sold separately).

All mounting hardware included.

LISTINGS

UL Certified to US safety standards. Wet location listed.

Tested in accordance with IESNA LM-79 and LM-80 standards.

WARRANTY

Five-year limited warranty.

Full warranty terms located at www.AcuityBrands.com/CustomerResources/Terms_and_Conditions.aspx.

Note: Specifications subject to change without notice.

Catalog Number
Notes
Type

Outdoor General Purpose

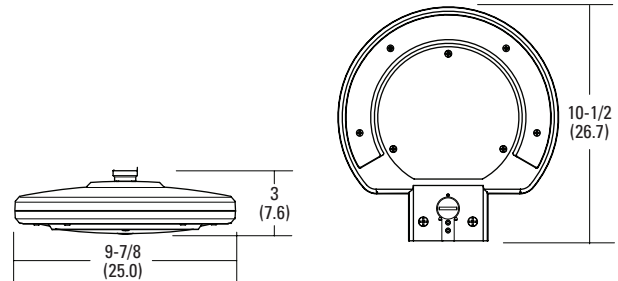
OLAW23

LED AREA / WALL LIGHT



Specifications

All dimensions are inches (centimeters)



ORDERING INFORMATION

For shortest lead times, configure products using **bolded options**.

Example: OLAW23 53K 120 PE BZ

OLAW23	53K	120	PE	BZ
Series	Color temperature	Voltage	Features	Finish
OLAW23 LED Area / Wall Light	53K 5000K	120 120 Volt	PE Photocell included	BZ Bronze

Accessories: Order as separate catalog number.

OMA M6 14" Steel mounting arm

OLAW23 LED Area / Wall Light

PHOTOMETRICS

Full photometric data report available within 2 weeks from request. Consult factory.
Tested in accordance with IESNA LM-79 and LM-80 standards.

Lithonia Lighting

lighting facts®

A Program of the U.S. DOE

Light Output (Lumens)	2304
Watts	35
Lumens per Watt (Efficacy)	65

Color Accuracy	67
Color Rendering Index (CRI)	

Light Color

Correlated Color Temperature (CCT)

5037 (Daylight)

Warm White

Bright White

Daylight

2700K

3000K

4500K

6500K

All results are according to IESNA LM-79-2008: Approved Method for the Electrical and Photometric Testing of Solid-State Lighting. The U.S. Department of Energy (DOE) verifies product test data and results.

Visit www.lightingfacts.com for the Label Reference Guide.

Registration Number: NJSM-Y124GT
Model Number: OLAW23 53K 120 PE BZ
Type: Outdoor area/roadway fixture